

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
JULY 11, 2016**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider approval of the June 13, 2016 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT**
request of Carl Ambrosius, Agent for Skyline Towers LLC, owner of the property located 9511 81st Street to amend the Skyline Towers Planned Unit Development (PUD) to allow the decks to be setback a minimum of 30 feet rather than 35 feet to the property lines and to correct the site plan in Exhibit 1 of said PUD.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
June 13, 2016**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on June 13, 2016. Those in attendance were Thomas Terwall; Michael Serpe; Wayne Koessler; Deb Skarda; Jim Bandura; Judy Juliana; Bill Stoebig; John Skalbeck (Alternate #1); and Brock Williamson (Alternate #2). Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; and Kristina Tranel, Community Development Department.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE MAY 23, 2016 PLAN COMMISSION MEETING MINUTES.**

Jim Bandura:

Mr. Chairman, I move for approval.

Wayne Koessler:

I'll second, Chairman.

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY WAYNE KOESSL TO APPROVE THE MINUTES OF THE MAY 23, 2016 PLAN COMMISSION MEETING AS PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? Motion carries.

- 4. CORRESPONDENCE.**

5. CITIZEN COMMENTS.

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing, we would ask that you hold your comments until that public hearing is held so we can include your comments as a part of the official record. However, if you want to raise an issue that is not a matter of public hearing now would be your opportunity to do so. We'd ask you to step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments? Anybody wishing to speak?

6. NEW BUSINESS.

A. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #16-08 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN for the request of Harold Brown, the owner of the vacant property generally located on 93rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.

Jean Werbie-Harris:

Mr. Chairman, I'd ask that Items A and B be taken up at the same time by the Plan Commission. I'll make one presentation but separate action will be required.

Tom Terwall:

We need a motion to that effect.

Michael Serpe:

So moved.

Wayne Koessl:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY WAYNE KOESSL TO COMBINE ITEMS A AND B FOR PRESENTATION PURPOSES WITH TWO SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

B. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT for the request of Harold Brown, the owner of the vacant property generally located on 93rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 3 of CSM 1877) and further identified as Tax Parcel Number 93-4-123-191-0137 to rezone the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.

Jean Werbie-Harris:

So the first item is Item A, public hearing and consideration of Plan Commission Resolution #16-08 for an amendment to the Village Comprehensive Plan for the request of Harold Brown, the owner of the vacant property generally located on 93rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision and further identified as Tax Parcel Number 93-4-123-191-0137 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designation to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.

The next item, Item B, is also a public hearing. This is for consideration of a Zoning Map Amendment for the request of Harold Brown, the owner of the vacant property generally located on 93rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision, Lot 3 of CSM 1877. It's identified as Tax Parcel Number 93-4-123-191-0137, and this is to rezone the portion of the zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District, so that the entire property is within the R-6 District. This is as a result of the Wisconsin Department of Natural Resources' confirmation that there are no wetlands on the property.

The property owner had hired DK Environmental Services Inc., to complete a wetland delineation on the vacant property identified as Tax Parcel Number 93-4-123-191-0137. The wetland staking was completed on October 24, 2015, and the required wetland report was filed with the Wisconsin DNR on April 20, 2016. The DNR had sent the attached letter as provided in your packets indicating that upon their field visit on April 13, 2016, as concurred with the biologist with DK Environmental Services, that there were no wetlands found on the site.

In accordance with the Village of Pleasant Prairie 2035 Comprehensive Plan, upon completion of a wetland delineation the 2035 Land Use Plan Map 9.9 would need to be amended to reflect the results of that wetland staking. Therefore, the Village of Pleasant Prairie 2035 Comprehensive

Land Use Plan Map 9.9 is proposed to be corrected to reflect the change that the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designation should be modified to the Low-Medium Density Residential land use designation, and Appendix 10-3 of the Plan is proposed to be updated to reflect that change.

Furthermore, in accordance with the Village Zoning Ordinance, upon completion of a staking the Zoning Map shall be corrected to reflect the results of the staking. And, again, since the DNR has determined that there are no wetlands on the property the portion of the property that was zoned C-1, Lowland Resource Conservancy District, is proposed to be rezoned into the R-6, Urban Single Family Residential District, so that the entire property is within the R-6 District.

This is a matter for public hearing. We've got two of them this evening, and I would like to continue the hearing at this time.

Tom Terwall:

This is a matter for public hearing. Anybody wishing to speak on this matter? Anybody wishing to speak? Anybody wishing to speak? Seeing none I'll open it to comments and questions from staff.

Michael Serpe:

Move approval of 16-08.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE RESOLUTION 16-08 SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Michael Serpe:

Move approval of the Zoning Map Amendment.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JUDY JULIANA TO APPROVE THE ZONING MAP AMENDMENT AS INDICATED SUBJECT TO THE TERMS AND CONDITIONS IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

C. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS to consider the request of BJ Korman for EMCO Chemical Distributors, Inc to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95th Street LakeView Corporate Park.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is Item C, it's the consideration and public hearing of a Conditional Use Permit including Site and Operational Plans, and this is to consider the request of BJ Korman for EMCO Chemical Distributors, Inc., to construct a 62,160 square foot warehouse addition and associated site improvements at their facility located at 8601 95th Street LakeView Corporate Park.

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request, and I'll present them now for you.

Findings of Fact

1. The petitioner is requesting approval of a Conditional Use Permit including Site and Operational Plans to construct a 62,160 square foot warehouse addition and associated site improvements at their facility that's located at 8601 95th Street in the LakeView Corporate Park. This information is contained in Exhibit 1. And, again, this is south of 95th Street and east of 88th Avenue or Highway H.
2. The subject property is known as Parcel 14 of CSM #1361 and is located in a part of the Northwest One-Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of

Pleasant Prairie, Kenosha County, Wisconsin. The property is further identified as Tax Parcel Number 92-4-122-212-0354.

3. EMCO purchased the facility and re-opened the Pleasant Prairie facility on July 13, 2011. The owner has continued to grow its operations since moving to Pleasant Prairie. The proposed 62,160 square foot addition is on the north side of the current building facility. The addition will be strictly for warehousing products. New docks will be added to allow for less traffic on site. Truck traffic and deliveries to the site will not be increased by this addition.

The project will also include a freestanding guard shack on the exterior of the fence line. The guard shack is critical for meeting security requirements set forth by the Department of Homeland Security. It also will allow EMCO to inspect and register deliveries prior to entering the perimeter fences. Along with this project, EMCO will loop water for the incoming fire system and install additional fire hydrants. Additionally, a small service road will be added on the North side of the building.

4. Previous approvals:
 - a. Conditional Use Grant #09-08 was approved by Plan Commission on December 14, 2009 for EMCO to operate the site for their industrial chemical distribution facility. This is provided as Exhibit 2.
 - b. Conditional Use Permit #11-02 was approved by Plan Commission on March 14, 2011 for the following improvements: 1) to provide the infrastructure to move products from the existing unloading/loading areas to the new tank farm. This phase included installation of piping, the piping structure, storage tanks, pumps and other miscellaneous equipment; 2) the construction of the truck shop to be used for general maintenance and repair of all EMCO owned vehicles; 3) construction of an exterior tanker cleaning area and an exterior unloading/loading area on the south side of the existing facility as well as a water treatment area; 4) construction of a production area used to fill product into its saleable package with walls to separate the different production areas, ventilation systems and fire protection added as needed or required; and 5) addition of exterior trailer parking lot, tanker parking area and diesel fuel station and nitrogen unit. And this was provided as Exhibit 3. Up on the screen right now is a good aerial photo of that existing site that they own as well as their parking lot area and their stormwater facility to the north.
5. At this time EMCO is proposing to expand its current facility with a gross floor area of 259,580 square feet by 62,160 square feet for warehousing products. It will not include any manufacturing in this addition area. The new addition will house the same type of materials as the existing warehouses with similar operations such as storing and loading.
6. EMCO anticipates operating approximately 24 hours a day, Monday through Friday, with a majority of the operations taking place from 6 am to 6 pm. The anticipated maximum number of employees on site at any time of the day is 115 employees. There will be two production shifts with approximately 20 employees each and three shipping and receiving

shifts with approximately eight employees each. Office personnel will work 8 am to 5:30 pm with approximately 45 employees.

There are over 225 parking spaces currently available at EMCO with four handicapped accessible parking spaces. EMCO does not plan on expanding the parking lot for the vehicles, new employee vehicles. The anticipated average of automobile trips to and from the site is 250, approximately 100 employees making 2.5 trips per day. The anticipated average of truck trips to and from the site is 50 to 60 per day.

7. The current zoning of the property is M-2, Heavy Manufacturing District, and the distribution of chemicals as proposed are allowed within the district with approval of a Conditional Use Permit.
8. Notices were sent to adjacent property owners via regular mail on May 19, 2016 and notices were published in the *Kenosha News* on May 30 and June 6, 2016.
9. The petitioner was e-mailed a copy of this memo on June 10, 2016.
10. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and the related materials as well as the information presented here at the hearing this evening, that the project as planned, will not violate the intent or purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, according to Article IX of the Village Zoning Ordinance, the Plan Commission shall not approve any Site and Operational Plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval as outlined in the staff memorandum, will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer and water service, stormwater management, streets and highways and fire protection.

With that I'd like to continue the public hearing. We do have representatives from EMCO and for EMCO here in the audience. And they may want to come up now as part of the public hearing and make any further presentation.

B.J. Korman:

I'm B.J. Korman with EMCO Chemical. I'm Vice President of Engineering.

John Schmidbauer:

John Schmidbauer from Kueney Architects, 10505 Corporate Drive. Jean did a great job I think in summarizing the project. So we're here to answer other questions if there are any. Maybe one other thing I'll point out. We've been working with precast which is what the building would be made of. The supplier finally got a sample that we like. We're going to be submitting that. We're going to match the tone of the building that's there or sandblast panel which is a little more

typical these days of what you see. We saw the renderings which will kind of match the existing building. And then we'd match the stripe that's existing out there.

Jean Werbie-Harris:

So I have just one quick question. The addition is going to be housing the same types of materials that are stored in the other parts of the building?

B.J. Korman

Yeah, they're all finished [inaudible].

Jean Werbie-Harris:

Okay, so can you tell me what some of those products are?

B.J. Korman

[Inaudible] sorry. We have probably 10,000 different types of products, but that's based on container size, too. So acetone, for example, is probably one of our worst chemicals, most flammable. We may have that in five gallons or 55 gallons. We also have a lot of soaps, so we could be storing something as benign as glycerin soap. We do a lot of salts. So it's a big range of industrial chemicals from solvents to surfactants to powders. The sprinkler system is sprinkled to the max density with foam. As part of this we are going to be doing some major work that the Chief wanted to loop our fire hydrant system so that we'll be adding hydrants, and you also could turn on and off our hydrant from 95th Street on both sides, something we do not have right now. The hydrants do not currently go all the way around the building, and they're not looped either so it's only fed from one side.

Tom Terwall:

Thank you. Anybody wishing to speak? Is there anybody wishing to speak? Please, name and address.

Jeff Lauer:

Jeff Lauer, 8770 83rd Place, Pleasant Prairie. Excuse me, Jean, I might have to get caught up here. I've been out of town for a while and was going through my mail and saw this. This is the property going on to the west of Highway H?

Jean Werbie-Harris:

I think he's referring to maybe the next item on the agenda. You're talking about Fountain Ridge?

Jeff Lauer:

The next item, sorry about that.

Tom Terwall:

Anybody else? Yes, Mike?

Michael Serpe:

With the increase in the expansion is there anticipated any more train traffic coming in there?

B.J. Korman

None. We're just trying to expand product lines. So really most of the stuff that we're going to be getting is already pre-packaged and just make our site traffic a lot less. There's only 12 docks currently. We're going to add 12 so we'll have 24 so we don't have to move the trucks around so much at night with spotters.

Michael Serpe:

Just another question. We welcome the expansion. I think it's great for the company and the Village. How much room is left for the next expansion? Are you running out of space?

B.J. Korman

We'll have to look for more. Unfortunately this will be it.

Michael Serpe:

Okay, start producing, Jean.

Tom Terwall:

Anybody else?

Wayne Koessler:

Mr. Chairman, if there aren't any more questions, I'm happy to see a local industry expanding in our park, and I would move approval of the Conditional Use Permit including the Site and Operational Plan subject to the conditions and comments of the Village staff report of June 13, 2016.

Michael Serpe:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY MICHAEL SERPE THEN TO APPROVE THE CONDITIONAL USE PERMIT INCLUDING SITE AND

**OPERATIONAL PLANS SUBJECT TO THE TERMS AND CONDITIONS OUTLINED
IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Welcome.

Michael Serpe:

I move to bring D and E together.

Wayne Koessl:

Second.

Michael Serpe:

Separate votes, of course.

Tom Terwall:

**MOVED BY MICHAEL SERPE AND SECONDED BY WAYNE KOESSL TO COMBINE
ITEMS D AND E FOR PRESENTATION PURPOSES BUT SEPARATE VOTES. ALL IN
FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

**D. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION
RESOLUTION #16-09 FOR AN AMENDMENT TO THE VILLAGE
COMPREHENSIVE PLAN for the request of Jeff Marlow, of Lexington Homes for
the residential development of 3-49 unit apartment buildings, 10-8 unit apartment
buildings and 19 single family lots on the vacant properties generally located west
and north of Bain Station Road and CTH H (88th Avenue) to be known as Fountain
Ridge. The amendments include: 1) to amend a portion of the Prairie Ridge
Neighborhood Plan for the proposed development; 2) to amend the Village of
Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the urban
reserve designation from the property and to change the area field identified as
wetlands into the Park, Recreational and Other Open Space Lands with an**

Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and 3) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan reference said changes to the Land Use Plan Map 9.9.

- E. Consider approval of a Conceptual Plan for the request of Jeff Marlow, of Lexington Homes for the residential development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88th Avenue) to be known as Fountain Ridge.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, Item D is the consideration of Plan Commission Resolution #16-9 for an Amendment to the Village Comprehensive Plan for the request of Jeff Marlow of Lexington Homes for the residential development of three 49-unit apartment buildings, ten 8- unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and County Trunk Highway H or 88th Avenue to be known as Fountain Ridge. The amendments include: 1) to amend a portion of the Prairie Ridge Neighborhood Plan for the proposed development; 2) to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the urban reserve designation from the property and to change the area field identified as wetlands into the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations from the Upper Medium Residential land use designation; and 3) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reference said changes to the Land Use Plan Map 9.9.

The second item that is related to this project is Item, E, consider approval of a Conceptual Plan for the request of Jeff Marlow of Lexington Homes for the residential development of three 49-unit apartment buildings, ten 8- unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and County Trunk Highway H or 88th Avenue for a project to be referred to as Fountain Ridge. As mentioned, these items are related and will be discussed at the same time but separate action would be required.

The petitioner is requesting several approvals to develop the vacant properties generally located west and north of Bain Station Road and 88th Avenue to be known as Fountain Ridge. The items being considered for approval include an amendment to the Comprehensive Plan which includes Prairie Ridge Neighborhood Plan and to amend the Land Use Plan and a Conceptual Plan.

The first item is the Comprehensive Plan Amendments which is Plan Commission Resolution 16-09, and the following amendments are being considered:

An amendment to the Neighborhood Plan: The petitioner is requesting an amendment of a portion of the Prairie Ridge Neighborhood Plan in Appendix 9-3 as a result of the proposed development of the vacant properties generally located west and north of Bain Station Road and west of 88th Avenue. The entire Prairie Ridge Neighborhood is bounded by Highway 50 or 75th Street on the north, Union Pacific Rail on the east, Bain Station Road on the south and County Trunk Highway C on the south and 104th Avenue on the west. It's comprised of about a mile and

a half square area. This amendment is only for a portion of the south central portion of the neighborhood.

Neighborhood Plans, as you know, are a component of the Village's Comprehensive Plan. They're intended to provide the community with a means of reviewing the patterns of existing and probable future development in and around an area proposed for land development, evaluating access to the land development and the feasibility of developing certain land uses and lot layouts, roadways and parkways, open green spaces and preservation areas, schools, municipal facilities and municipal services to serve the neighborhood. The Neighborhood Plan sets forth a guide for future development when a willing landowner wishes to develop or sell his land.

The Prairie Ridge Neighborhood Plan that was originally adopted in 2004 indicated that this 34.5 acres of land be developed with approximately 96 residential units which included 3-unit buildings, 2-unit buildings and 1-unit buildings. The amendment proposes to allow for the development of the properties with 246 total units. As proposed and shown on the slide three 49-unit buildings, ten 8-unit buildings and 19 single family lots. This represents an increase of about 150 residential units. The amendment to the Neighborhood Plan alters the 472 net residential acres within the neighborhood to 468 net residential acres removing 4.09 acres for the proposed public streets and field delineated wetlands that are in that Fountain Ridge Development.

In accordance with the Village 2010 Comprehensive Plan, the Prairie Ridge neighborhood is classified as upper-medium residential land use category which requires the average lot area per dwelling unit fall within a range of 6,200 square feet and 11,999 square feet per dwelling unit. It's more on the higher end of our density in the Village in this particular area. This allows for areas of the neighborhood to have larger lots while some areas have smaller lots. Since the adoption of the 2004 Neighborhood Plan including the 2005 and 2006 amendments, the existing number of dwelling units within this neighborhood has changed.

The Neighborhood Plan includes the following existing 1,643 units and proposed 574 units or residential units for a total of 2,217 total residential units within the Neighborhood including the Fountain Ridge development:

Single family there's a total of 754 plus a total of 19 single family units within the entire neighborhood for a total of 773 units. The breakdown just so you recall in this particular area of the Village, there's approximately 215 single family lots in Prairie Ridge and Prairie Ridge Addition #1 Subdivisions; 81 single family lots in Ashbury Creek Subdivision; 43 single family lots in the Settlement at Bain Station Crossing Subdivision; 344 single family units in Westwood Manufactured Home Park; 71 other single family lots with the neighborhood; 19 proposed single family lots in the Fountain Ridge development.

With respect to apartments there's 668 units that are existing and 224 that are proposed or a total of 892 within the entire neighborhood. Within this neighborhood we have 324 apartment units at Hidden Oak development which has nine 36-unit buildings; there are 120 apartment units at Lexington Village which includes nine 12-unit buildings and two 6-unit buildings; and 164 units at the Cobblestone Creek development, one 36-unit building, one 40-unit building and two 44-unit buildings; there are 224 proposed apartment units at the Fountain Ridge development, three

49-unit buildings and 10 condo style unit apartments. So there's eight, but there's ten units in each.

Senior Housing within that neighborhood there's 191 units and a proposal of 161 units for a total of 352 units; 191 existing senior housing apartment units are in the Prairie Ridge Senior Campus, there's two buildings at 94th Avenue and Prairie Ridge Boulevard; there's 95 proposed senior housing apartment units in the Bain Station Crossing development; and 66 proposed senior housing apartment units in the Addison in their phase 2 of that development.

With respect to condominium units there's 30 that are existing and proposed 170 for a total of 200 units; 98 proposed condo units are in the Prairie Ridge area at 97th Court between Prairie Ridge Boulevard and 94th Avenue know as Arbor Ridge. Specifically that was originally identified for 15 2-unit buildings, five 4-unit buildings and eight 6-unit buildings; 90 proposed condominiums units which includes three 8-unit buildings, one 6-unit building and 15 4-unit buildings and 60 apartments units which includes five 12-unit buildings. And this was all planned for the Bain Station Condominiums and Bain Station Apartments. Again, that's north of Bain Station and east of Highway H. And 12 proposed condominium units at either four 3-unit buildings or three 4-unit buildings located east of 88th Avenue at Wilmot Road.

The net density of the neighborhood with the proposed amendment will be increased to approximately 9,194 square feet per dwelling unit. This density is still well within compliance of the Village Comprehensive Plan for this particular neighborhood.

So for population and school age children, that's something we always look at whenever there's a new residential development proposed, for current population within the neighborhood there is 3,951 persons with 1,023 school age children with 610 public school age children. And just so you can see some type of breakdown, we have a breakdown that's in the staff comments for single family, for the condo, for the apartments, the senior apartments, the total school age children and the number of public school age children. So we break this down by development, and we work with Kenosha Unified School District to make sure that they know exactly how many students that we could anticipate and how many public school age children we could anticipate for each development.

With respect to projected population within the development, the neighborhood is 5,233 persons which includes 1,310 school age children wherein 784 are estimated to attend public schools. Again, this would be at full development of all of the proposed projects that I have just talked about. And there is, again, a corresponding breakdown based on single family which nets the highest number of school age children are all existing. Single family is the highest, then condos, then apartment units that are market rate, then senior apartments. As you can see, the number of persons per household and the number of children goes down for those other types, the other developments, the market rate as well as the senior apartments. So projected population, projected number would be 1,310 school age children or 784 public school age children.

The second amendment to the Comprehensive Plan includes the removal of two things. Primarily to remove the urban reserve designation from the properties and then to change the area that's field identified as wetlands into the Park, Recreational and Other Open Space Lands with the Interpolated Wetlands land use designations from the Upper Medium Residential land use designation. There's a long linear, as you can see in the slide, a long linear area that's been

designated as wetlands. And that area will not be developed and will have to be preserved as a wetland designation. The second amendment to the Comp Plan is to update the Appendix 10-3 of the Village of Pleasant Prairie 2035 Comprehensive Plan to reference the changes to the Land Use Plan Map 9.9.

The conceptual plan for this project, the petitioner is requesting approval of the Conceptual Plan for these vacant properties west of 88th Avenue and north of Bain Station Road. The reason why I keep mentioning properties, there's actually two properties here. There's actually an existing outlot that runs parallel to Bain Station Road that's about 100 feet in depth, and then there's a second parcel which is the balance of the property. They would need to be combined as part of this development.

The proposed development is proposed to include 19 single family lots which would be immediately adjacent to the Ashbury Creek development as shown on the slide, and five lots for the development of three 49-unit building, ten 8-unit condo style apartment buildings all on that 34.5 acre property. Again, the wetlands were delineated in October of 2015 by James Havel, a Wisconsin Department of Natural Resources Assured Wetland Delineator, and then these wetlands will remain unchanged on the property.

With respect to the single family residential which is on the far west side of this development, the western portion of this site is proposed to be platted as a single family residential with 19 single family lots that meet the minimum requirements of the R-4.5 Urban Single Family Residential District. That's the same zoning designation as the Ashbury Creek Subdivision. The single family lots range in size from 12,500 square feet to 36,443 square feet per lot, the average lot size being 15,899 square feet. The R-4.5 district requires that each lot be a minimum of 12,500 square feet with a minimum of 80 feet of frontage. All lots need to have a minimum depth of at least 125 feet.

84th Place which is already dedicated in Ashbury Creek between Lots 2 and 3 is proposed to be constructed and continued to the east. That's that short roadway identified as Street A. 94th Avenue is the north/south road in Ashbury. And, again, the road I'm just referring to now is Street A that would go east/west from that 94th Avenue. Public roads are proposed to be extended both north and south and terminate in a cul-de-sac in the proposed single family subdivision area. Outlot 1 in the proposed single family area which abuts Outlot 3 in the Ashbury Creek Subdivision which will be at that north end of the site, north/northwest, will be used for storm water management facilities for that 19 lots. The new public streets will be required to be constructed with the Village's new construction specifications which will require public concrete sidewalks on both sides of the public roadways.

It's recommended that the south 75 feet of the single family lot areas in Lots 8 and 9 be a part of Lot 2 of the multifamily area and be included in a dedicated landscape, access and maintenance easement area. Our feeling is that if this area is placed into the easement it will ensure some consistency along the entire southern portion of this development. Then Lots 8 and 9 won't start cutting down the trees or putting place wings and sheds and other things along that area. But we can create a very similar look as well as a good nice buffered area between Bain Station Road and the development to the north.

With respect to the apartment development, the developer is proposing to develop the remainder of the site with three 49-unit, two story market rate apartment buildings. And, again, that's at the very north end of the site. And it's kind of identified as our site 1 area. There's three buildings at that location. And then south of that are ten 8-unit, and the reason why we refer to them as condo style market rate apartments is that these individual apartments all have individual entries and then individual -- they have garages attached. So you can enter through your entryway or you can go through your garage unit to get into your unit. So they look like, they feel like, they will appear more like condominium units even though they're rental. In addition, the other structure on the site is the building identified as the CH, it's the clubhouse, and that's located just south of the northern pond on the site. And that will service the apartment area as well as service management leasing office for the owner.

Each 49 unit building will provide 60 underground parking spaces. Some residents will have two. Additional 60 surface parking spaces are available for each building for a total of 120 parking spaces for the 49 unit buildings. Storage lockers are available internally and in the underground parking area as well as on the floors. The lighting of the parking areas will be done by a pole system with LED fixtures. This will be similar to the Cobblestone development that's in Prairie Ridge. Additionally, the parking lots will be monitored via an exterior camera monitoring system, and this is pursuant to the Village's Digital Security Imaging System or DSIS requirements and this is all contained within Chapter 410 of the Village Municipal Code.

The 49 unit buildings will offer an array of floor plans ranging from an efficiency style to a luxurious 1400 square foot plus unit with 2 bedrooms and 2.5 baths. The building apartment unit types will breakdown as follows. And this has worked very successfully for them. We have a lot of very low vacancy in the other units that they have built just because there's such variety at various price points for people to move into these units. So in these buildings, the 49 unit buildings, they'll have:

- 5 2-bedroom units with 2.5 bathrooms that range in size from 1,200-1,370 sq. ft.
- 5 2-bedrooms units with 2 bathrooms that range in size from 1,132-1,260 sq. ft.
- 1 luxury 1 bedroom unit with 1.5 bathrooms that is 1,173 sq. ft.
- 8 1-bedroom units with 1 bathroom that range in size from 820-980 sq. ft.
- 4 efficiency units with 1 bathroom that are 617 sq. ft.

On the second floor they have a little bit more variety because of the height:

- 6 2-bedroom lofts with 2.5 bathrooms that range in size from 1,370-1,400 sq. ft.
- 4 2-bedrooms units with 2.5 bathrooms that range in size from 1,200-1,218 sq. ft.
- 2 2-bedroom units with 2 bathrooms that range in size from 1,132-1,260 sq. ft.
- 6 1-bedroom loft with 2.5 bathrooms that are 1,000 sq. ft.
- 1 luxury 1 bedroom loft with 1.5 bathrooms that are 980 sq. ft.
- 5 lofts with 1.5 bathrooms that are 1,032 sq. ft.
- 1 efficiency unit with 1 bathroom that are 617 sq. ft.

In each 8-unit building each residence will have an attached individual private garage with remote, six of the units in each building will have double garages, and two of the units in each building will have single stalls with an additional 16 surface parking spaces for each building.

The lighting of the parking areas will be done by, again, the pole system with LED fixtures. Additionally, the parking lots will be monitored via the DSIS system.

All units are condo style in that they'll have that private individual entrance from the outside of the building and through their attached garage. In addition all units will have individual high efficiency top load washers and dryers, built in microwaves, smooth top ranges and refrigerators. What they've been doing is kind of listening to some of the tenants that are in some of their other developments including Cobblestone to see where they can continue to see upgrades to see what residents would like to see.

Each 8 - unit building will breakdown as follows:

- 2 2-story 2 bedroom units with 2.5 bathrooms
- 2 1-bedroom units with 1.5 bathrooms on the first floor
- 2 2-bedroom units with 2 bathrooms on second floor
- 2 2- bedroom units with den with 2.5 bathrooms on second floor

The units range in size from just under 1,000 or 937 square feet to 1,594 square feet.

With respect to population, based upon the current projections of 2.34 persons per household in Pleasant Prairie, a maximum total of 532 persons are intended to live at this apartment development. The developer anticipates less than 10 percent of the occupants will be children or less than 5 percent will be school age children.

Site Access: The apartment development will not have any public or private roadway connections to the single family homes lying to the west. In the multifamily area, new public roadways will be constructed that will connect both to Bain Station Road on the south and 88th Avenue on the east. In addition, private parking areas, fire lanes and access will connect to the new public roads within the development. No direct driveway access will be provided to Bain Station Road and 88th Avenue. Again, both of those roads, one is County, one is a Village, but both serve as arterials so there's no direct access to either of those.

Based upon a recent Traffic Impact Analysis which evaluated other Village developments approved in the area, existing traffic count information for the nearby intersection and proposed traffic from this development, Kenosha County is proposing to reconstruct the intersection of Bain Station Road and County Trunk Highway H in 2017. A roundabout has been approved by the County and is in the design phase for this intersection. In anticipation of the new highway improvements, the developer is required to dedicate additional land for the widening of the Bain Station Road and County Trunk Highway H adjacent to where these improvements are going to take place, and that dedication will be required to be 50 feet from center line. Continued coordination and additional information from the developer will be required between the Village, County and the developer as we continue to move forward with this project.

Site Amenities: The site provides for over 45 percent green space and includes a clubhouse, which will be centrally located next to the middle 49 unit buildings. The clubhouse will house the staff for the property management team from Lexington Management, which is the management arm of Lexington Homes. The clubhouse will have security monitoring via cameras

and an access key system. In addition, the clubhouse will provide a gathering and patio area for residents to rent out for events.

Construction Practices: Lexington Homes, Inc. prides itself on creating communities built of high quality and intricate architectural design. They've highlighted some of the construction practices that they'll implement into these buildings.

- Buildings will have an internal fire sprinkler system for fire safety
- 2x6 construction on the external walls of the buildings
- High performance vinyl windows and patio doors with low E glass and argon gas
- Partial stone façade blended with maintenance free products
- Aluminum frame and full glass front entry doors for security and aesthetics
- Complete intercom system for entry
- Custom plastered interior walls (this is not a drywall board system)
- Individual sound walls divide each unit
- Sound insulation between the floors
- Three fourth inch gypcrete poured on all floors for additional sound barriers and for fire prevention
- Individual unit entry doors have a deadbolt and peephole
- Postal service is accommodated inside the buildings for convenience for the residents
- 30 year dimensional shingle roofs

Property Management/Maintenance: Lexington Management understands that the real success to their communities lies within the long-term management and maintenance of the site. They operate under very structured processes. They have included a copy of their management forms pertaining to these areas. And we've reviewed these previously.

But just to highlight some of their leasing information as prepared by Lexington, every potential resident that tours the site is required to fill out a Welcome to the Community form. This ensures the safety of the staff before each tour occurs. This form requires that they see valid IDs and gives them current living arrangements or information. When the tour results in someone wanting to reside within the community they are given the Rental Process form along with their Standard Application for Occupancy. The rental process form clearly highlights what the qualifications are to reside on the property. The application is a more detailed document that allows Lexington to further qualify every potential resident.

With the receipt of the application, the security deposit and a signed rental process form, the potential tenant can start a detailed approval process which also includes a credit check, requires a score of 600 or higher, it includes their gross monthly income shall be 2.5 times the amount of the monthly rent and criminal background checks are run. Lexington Management, as a standard allows only two people per bedroom and two vehicles per unit. There are variables to the process, but this is basically outlined in their rental process form.

Residents are required to sign one year leases with variable terms after that one year period depending on their situation. It is their goal to try to secure one year leases continually with a built in parameter that does not allow anyone to move out between October and April which is the winter months. In addition there won't be any dogs permitted at these units.

Management Structure: As one of the principal owners of Lexington Homes, Michelle Stimpson has a genuine focus on the day-to-day operations of the entire management division. She oversees over 1,700 units. She believes in treating every resident as she would like to be treated. She physically reviews every resident file and signs every resident lease that occurs for the entire company. With 20 years of experience in this industry and having both a real estate and broker's license, she knows that the management side of things is the difference, and the difference is in the details.

Weekly she meets with her district staff to review every property they oversee. In these meetings they have site suggestions along with marketing and maintenance are discussed in great detail with respect to implementation plans that are carried out and reported each week. The district staff is required to be at each property working with the site management. Monthly reports are clearly documented and provided to ensure the continued success of each site. The management operates on the principal that it is someone's home. They focus on the presentation not only to their prospective and current residents but to their guests. Additionally, they will have property staff which will include a property manager, assistant manager, cleaning staff and maintenance. Their goal is always to have as many of their staff physically living at the property so that someone is always available to the residents.

They are very centered on routine inspections. Monthly they do inspection reports along with exterior and interior building inspection reports. Yearly they inspect the interior of every single apartment and complete a full report as to the interior condition of that unit. At that time an individual property review is also completed to help plan for upcoming projects.

Rents: The anticipated market rate rents based on a thorough market study. They range for the efficiency units at \$700 up to in excess of \$1,600 for the 2 bedroom two and a half bath units. The residents will be responsible for also their utilities, heat and water. The billing of the water will be accomplished by the building having one main water meter master meter that will be billed to the property owner and paid. The water bill will then be split up and billed by the owner to the tenants.

Site Construction Schedule: The developer would like to begin the site and excavation work for the apartment portion of the project in early fall of 2016. If work begins that fall then anticipated completion time frame would be fall of 2018. The 19 residential single family homes would be built in the last phase and offer a dozen plans for home buyers to choose from.

With respect to public improvements for the development, all public and private improvements will be made by the developer at the developer's expense. The entire development shall be provided with and serviced by municipal roadways, sanitary sewer, water and storm sewer. Public concrete sidewalks will be required adjacent to the public streets.

Certified survey map approval and zoning text and map amendments would be some of the next steps if approved. The creation of Lots 1 through 6, the dedications of the public road rights-of-way and granted easements for the apartment development will be shown on a proposed CSM. All of the dedication and easement provisions as well as the restrictive covenant language as prepared by the Village staff would also need to be added on the Certified Survey Map. Let me also state that the single family portion would require a subdivision plat, much more detailed than even just a Certified Survey Map.

The developer shall request the rezoning of Lots 2 through 6 at the time the Certified Survey Map is submitted. Per the Conceptual Plan, Lots 2 to 6 shall be rezoned from the A-2, General Agricultural District, into the R-11, Multi-Family Residential District with a (PUD) Planned Unit Development Overlay District. The wetlands on Lot 3 would need to be rezoned into the C-1, Lowland Resource Conservancy District. The Zoning Map and Text Amendment application would need to include detailed development plans including all site civil, landscaping, building construction, architectural, lighting and signage plans for the 49-unit buildings, the 8-unit buildings and the clubhouse. All the development plans will be exhibits to the Planned Unit Development.

Developing the apartment sites as a PUD would allow some flexibility with some the requirements of the Village Zoning Ordinances but provided there is a defined benefit to the community. The following modifications of the ordinance are being proposed by them.

- To increase the net density from 9.6 dwelling units per net acre to 10.1 dwelling units per net acre.
- To increase the number of apartment units allowed per building from 24 per building to 49 per building, and this as a breakdown would be three 49s and eight 10s. They would not be proposing any three bedroom units.
- To increase the building height of the larger apartment buildings to increase from 35 feet to a maximum height of 40 feet.
- To allow for efficiency units to be reduced from a minimum of 700 square feet to 617 square feet.

In consideration of these minor PUD modifications to the Village Ordinance, the following community benefits are being recommended by the developer:

- A minimum one parking space per unit shall be provided in an enclosed garage attached to the building for the condo style apartment buildings.
- Three bedroom units for any apartment buildings will be prohibited.
- All of the units will be offered at market rate rents.
- Additional secured storage spaces for each unit will be provided in the underground parking area of the 49 unit buildings, approximately 20 square feet per unit is proposed.
- The side yard setback to the west abutting the proposed single family development will be increased from 30 feet to 75 feet minimum abutting the 8 units and from 30 feet to 100 feet minimum abutting the 49-unit buildings.
- The exterior building materials and design of the apartment building will be a combination of stone and cement board and 30 year architectural shingles.
- The site will provide a minimum of 45 percent open space instead of the required 25 percent.
- All apartment buildings will be fully sprinklered and will comply with the requirements set forth in the Fire & Rescue Department memorandums.
- The landscaping and exterior turf will be irrigated.
- The height of the Multifamily Residential Development Identification Sign will be a six feet instead of eight feet.
- The developer will install an on-site DSIS in accordance with the Village ordinance.
- The developer will not allow any dogs to occupy the multi-family development.

- Additional landscaping/berming will be installed pursuant to the staff direction, and we do have some additional information with respect to some additional sizing on some of the street trees and some of the landscaping.

And finally just to confirm, and I mentioned this previously, preliminary and final plats and a zoning map amendment would be needed of the single family portion of this development. And that would done at the time that Lot 1 is requested to be further subdivided into the 19 single family lots and one outlot. A separate development agreement along with associated obligations for the public roads and related infrastructure within the single family subdivision would be required. Lot 1 would be rezoned at the time of the preliminary plat. The single family lots would be rezoned from the A-2, General Agricultural District, into the R-4.5 District. And Outlot 1 would need to be rezoned into the PR-1, Park and Recreational District.

And if I wasn't clear, both developments if they do them in two phases or two stages both would require detailed development agreements as well as posting a letter of credit and the financial security as needed for the public improvements. With that I'd like to continue the public hearing. Representatives of the owner are here. I'm not sure if they'd like to add some additional information before we get into some of the other questions that you may have.

Tom Terwall:

Do you have anything?

Jeff Marlow:

Jeff Marlow, Lexington Homes, 1300 North Kimps Court. Jean, that was very detailed. I appreciate the hard work and effort you put into that. I could say this about the site, a couple things. I just wanted to make sure, one, we did hold a meeting that was approximately last week, and we had an opportunity to meet with the neighbors that did come out. Actually one was a proxy, it was his father-in-law that lived at the site. We met with another gentleman that lived around the corner of the site. We did have some talks. So we did want to make sure to let you know that we did have a meeting with the neighbors at that time. Hopefully there's a few more people that maybe would want to speak just to make sure we're all set.

We laid out the single family application with some of the guidance from the staff where we would actually match the actual same zoning application of Ashbury. And when I was at that meeting and when we talked with two people that were there at the time I mentioned I like that to be like an extension. I'd like to be able to hopefully follow their rules and covenants so that it would just be an extension of a phase of Ashbury that would be there with the residential. So that would be our ultimate thought process with that residential application of it that would just be an extension that would come in off of there.

And if you notice, too, we purposely did not have -- originally there were some talks originally in the design phase of wanting that road to go all the way through and connect through the neighborhood. And I said, uh-huh, we don't want to do that. We want to make sure that we can take and disburse our people out different directions. Which with the site layout some obviously will go to H, some of them are going to go over to Bain Station Road. But we wanted to make

sure that we're not going to bring any people through that residential development. That's the reason we laid it out the way we did.

There's some really extensive berming. There's so much to try to cover. But the berming, too, on the back side of our future new residential neighborhood that would be there, some of those berms would be between six to seven feet tall, trees between six to eight feet tall. It will be quite an expensive project of berming that will be done on the property. But I think when it gets all said and done it will truly give a very unique mix.

Another point I'd like to touch upon which Jean had mentioned dealing with the parking, with this building, too, we originally were looking at -- because we were obviously here last week for the 60-unit building next to our project by Cobblestone that we built which is a three story building. And we said let's bring this building down. That two story building at 40 feet, it's 39.6 feet. So what we did we just stretched out the building a little bit, but we got away from the height factor. Because we want to make sure with this layout and design not only for the general neighborhood of where the residential would be but for the people that were going to be living across the street in our town home projects that we have here or the condo style unit as you call it. Because those are actually 8-unit buildings. There's ten of them that are there.

But when you take a look at it, when you see it from the street, and we'll definitely bring pictures in once we get more to those details, they actually look like individual units. So it's really a great street type of scape. We've built the projects before in other locations throughout Wisconsin. We've had great success with them due to the fact, too, as she mentioned six of the eight units have two stall garages. Usually the biggest issue that happens is always parking. One thing I will tell you, if you take a look at the sites that I've presented, we will be well above what's required because it's important because we manage it. So what we've built we have to deal with. So parking is really a big thought process.

And also with the ponds, too. There's one, two, three, we have three reflection ponds that we want to have on the site for the aesthetics, the beauty. If you drive past our Cobblestone property that we have right over here close by and you take a look at it, you'll see where the clubhouse is and the ponds and the fountains. I mean people love to see that. We've also tied in different walking applications, too, so there's accessibility for people to be able to walk on the roads and so forth.

But, I'll tell you what, we are very excited. We love to be able to bring another phase, another type of living to your community which I think truly could be highly, highly successful. And what you said we've been listening to what the people have been coming in and asking us, what are you looking for? Is there something else we're not providing? And that was really big with those eights and tens. People like the idea of being able to have that variety. But yet we still like our 49 unit building because it really gives that diversity of 17 different floor plans. So we'd be more than happy to answer any questions.

Tom Terwall:

Thank you. Is there anybody else wishing to speak? This is a matter for public hearing. Anybody else wishing to speak? Yes, sir?

Jeff Lauer:

Hello. My name is Jeff Lauer, 8770 83rd Place. I apologize for getting up earlier. I do have some questions. And, Jean, I'm sure you probably have some of the answers. My main concern is the apartments. But hearing, Jeff, what you just said, how they look different and the slides I saw up there they do look different than I thought they would look like. But before I get to that part I know there's going to be an access to Highway H which is a busy road. And, Jean, or does somebody know like if you're going south on H like coming from Highway 50 is there going to be like a right turn lane into it, or is it just going to go right off the road into the subdivision area? I know that's a busy road and a lot of people speed on that.

Jean Werbie-Harris:

So there's an east/west road identified as Road B. They will have an accel lane and a decel lane. I don't know if you can see that white bump out area. So as someone is coming in to turn into this development there will be a decel lane, and then there will be an accel lane coming out. And then there's going to be a bump out across on the east side of Highway H. So that if someone is traveling north on H that they can go into that bump out lane and then go north so it doesn't back up traffic. Part of that work is still under design and study at this point just because I don't have the final design from Kenosha County. And Kenosha County is working with their engineers as well because we need to make sure that however they design these two intersections that they have to be designed appropriately for the roundabouts. I don't know if that's going to be a dual lane or a single lane roundabout.

Mike Pollocoff:

The traffic study indicated that even with this level of development that a single roundabout would perform well enough. It would be similar to the one at C and H.

Jeff Lauer:

That's a good idea.

Jean Werbie-Harris:

And that same thing will be on Bain Station Road as well as you can see. We'll have to figure out, but the traffic study will figure out whether or not there needs to be an accel or decel or any time of bump out to get traffic around so it doesn't back up traffic either towards 88th or towards 94th.

Jeff Lauer:

Okay, thanks. As far as the digital cameras that will be on the buildings, and just a side note, the reason I'm concerned about apartments is because just north of Bain Station Crossing where I live ever since it was deemed to accept different funding there it appears ever since then more problems in our neighborhood. So I want to make sure if apartments are going here that there's pretty good guidelines on how it's all going to work. I prefer to see less apartments. I don't care if there's more town houses, family homes or anything of that nature. But the apartments is what

know some of my neighbors have got nervous as well, but I'm the one here speaking about it. Regarding the digital cameras, let's say there's an incident. Is that something that the police can see instantaneously or is after the fact when something happen, okay, let's go back and look at the video and find out what happens?

Jean Werbie-Harris:

So it's both. The way the DSIS system is set up there are cameras that are focused in on all the entrances and exits to the apartment units themselves as well as to the entrances to the public streets. And so the PD is not monitoring all of these cameras because there's so many cameras in the Village. But if there's an incident going on they can pull up the camera views while an incident is happening if someone contacts them. And then they can relay that information to the officers. So, again, we're not monitoring them on a 24 hour basis, but there's archival video for up to 30 days as well as live look if it needs to be.

Jeff Lauer:

Okay, good, thank you. Are any of the proposed apartments, I didn't hear it, but heard there was senior living, are any of the apartments for seniors or is that a different --

Jean Werbie-Harris:

Jeff, you might want to come up and talk about -- I mean that's up to you. They're not designated as 55 or over, but if you want to talk about a little bit about your demographics.

Jeff Lauer:

Okay, like I say, my concern is I think there's too many apartment buildings, though I do admit I like the slides I saw. So it looks like a good design. If it's possible, I don't know if I go through Jeff or through Jean, I like what you were saying about how the contract is going to work as far as the questions, the background checks and things of that nature. So I'm assuming if they're truthful on there they will be taken care of. I think that's all I have. Again, my main concern was the apartments. I wasn't a true fan of it. I've been out of town for a while, and I just got home not too long ago and saw this, and that was my first concern. Because I've been around apartments before and I've seen the likes of what happens sometimes in apartment buildings. But, again, it looks very good from what I've seen so far. Thanks.

Tom Terwall:

Thank you.

Jean Werbie-Harris:

So could I have Jeff come up and could you address two different things. Number one, overall management. Maybe you can get into a little bit more of the management of your units as well as maybe demographics a little bit.

Jeff Marlow:

Jeff Marlow, 1300 North Kimps Court, Green Bay. Pertaining to the senior application or age-wise, our units basically are open for a broad range of people. But what ends up happening is we hit certain price points. And with those price points we have certain units, for instance, which we get into with the two bedrooms, the two and a half baths that are 1,300, 1,400 square feet and are \$1,400 to \$1,500. So we do have the opportunities and they're sized right to give people of all ages opportunity. And we're getting a good mix of people. But, no, we don't designate strictly just for seniors. That's not our philosophy. Not that it doesn't work, that's just not our marketing style the way that we like to be able to run the actual property itself. But it does allow a good mix of people.

From the management standpoint of view and talking about it there's no doubt about it. I mean Michelle and I when we started this company it's been 25 years that I've been doing this, Michelle has been with me for 20 years of it. And for managing it we're pretty steadfast in our management rules. And the reason why that is because we deal with it. This is my personal funding of money that we put up. It's our investment. It's our 401Ks you could say when have the apartments. So it's real important that we want to make sure we do things right and we have to do things right. And if you do that you have good quality apartments.

Because that's not the first time I've heard the comment made. I don't think you meant anything terribly derogatory about apartments, but there can be some issues sometimes. That's how you take care of it. It's doing the things properly, talking about credit scores, talking about making sure that you do background checks on people. Now, nothing is ever perfect, but I will tell you it's a strong vetting process that we go through, we really do. It's very, very important, but we have to be fair to everyone. It's extremely important and we do, and it's the same rules for everybody across the board. And it's hard sometimes for me because years ago when I had the person call up and they go, geez, you know, I'm 75 and I wish I could get this place and my credit score was off by ten points. Come on, Jeff, can you help me. I'd say yes years ago, okay, let's do it. I can't do that today. So we have to follow the guidelines that are there. But I will tell you no different I think if there's any issues or concerns about what we've done. I know Jean had mentioned in past meetings pertaining to the amount of police calls that we potentially have are very low, very nominal from that part. I think it's a matter of just making sure that we do things the right way and listen to the people.

Tom Terwall:

Thank you. Anybody else? Anybody else? Hearing none I'll open it to comments and questions.

Michael Serpe:

Jeff, don't sit down too quick here. With reference to the apartments I've witness Cobblestone, I have seen the application process. I know how you monitor that and I think that's great. I have not seen that in any other apartment complexes since I've been on this Board in 27 years. Tell us a little bit about the single family homes. What kind of -- do you have anything on paper yet as far as price range, what they're going to look like, similar to Ashbury?

Jeff Marlow:

I would say from looking at the market data from what we've seen that's here I would anticipate that the homes would be price ranged potentially somewhere between \$275,000 to \$350,000. Obviously housing costs are just skyrocketing. So as they continue to go up they might even reach a little bit more. But size wise ranches would be roughly about 1,700 to 1,800. I would follow the guidelines of what Ashbury would have is what I'd like to do. Because it should just be a transition off of that neighborhood. Because when I drive through the neighborhood and I see the types of homes and the sizes of homes that's what I would anticipate that would go on the back side.

Originally we had talked about maybe doing condos, and I had drawn up 26 lots, and we were going to do smaller condo homes that would be there. And at the time some recommendations, Jean and Peggy said, you know, why don't you just extend the neighborhood? I think it would be good, I think it would be a good extension. I said we've got six less lots but I think it's a smart move. And the more I thought about it does make sense because it just brings that natural profession that's in off of what the existing neighborhood would be at. So you would see ranches, two story, story and half from 1,800 to let's say 2,800 square feet.

And I know I did have one neighbor when we were talking his concern was, gee, what happens if once those go up you're never going to be able to build them. And, you know what, it's a legitimate question. But I will tell you this. If you go online and you take a look through Lexington Homes and look at our communities, we've done a lot of mixed use community developments like this up in the Hobart area, to the north and the south, by Little Chute area which is just south of us in Green Bay where we have actually mixed in with combinations that's there.

Plus, really by the time you have the berming and what's really there on the sides there's a lot of space. And also which I really appreciate, Jean says, hey, you've got to make sure make that space wider, don't just go right up to the lot line. I know this is our first conceptual but we've been working on this a long time before we brought it to you to make sure that we really try to think up these things ahead of time of spacing and so forth. So that's what I would anticipate residential wise.

Michael Serpe:

You're going to be the contractor for the homes, though, right?

Jeff Marlow:

I potentially could be. If someone wanted to buy the project locally and wanted to go ahead and be able to start in right away I would have no objection to that. Put it to you this way, our main purpose and start is we want to make sure like anyone else that people see what we're building. Normally where we've been the most successful is we've went in, we built the multifamily, and we came back to the residential first. Because that way there's no questions. Everyone knows this is what we built, it's all here, you all saw it, and there was no questions. Sometimes when they don't see what's built right away then they get into it can be a little bit more dicey.

But with the berming and what we're doing it's literally going to be like two different neighborhoods that you're really dealing with especially because it's coming off the existing neighborhood. No one needs to drive into them. Some of them we would have to drive within the same neighborhoods, and then you would have the residential on one side and then you'd have the multifamily directly on the opposite side of the street where this is nowhere near the case. You'll have very defined and a lot of space between the two physical properties. All those berms and that will be in place right away so that will be done while we will go in.

So we want to build the public street first to come in, be able to start up top on the top section up by County H, and then work our way through the site and work our way down and out. But toward the end of the phase at the time being no one else has come along with interest I absolutely would. I've made a commitment to stay here. I have my project manager that's living here. I have another project manager that's coming down to live in the community. So we want to be here for a long time to come and to continue to build in your community.

Michael Serpe:

Thanks, Jeff. Thank you.

Jim Bandura:

Jeff, you're going to be following the other subdivision's architectural also?

Jeff Marlow:

Sure. I have no problems whatsoever looking at what Ashbury has as far as for the rules, the regs, and their covenants. And I stress that, too, that those covenants would be in place. Because normally in our own subdivisions back home if you want a fence you have to have it approved, it has to be final or otherwise you need spear wrought iron, there's no accessory buildings we don't allow, there's no wood that can be stored outside. Put it this way, if you think we're tough multifamily we're pretty tough residentially, too. But in the long run we're trying to protect neighborhoods is really what we're trying to do. One person thinks a shed is beautiful, the next person doesn't, you know? One person wants to cut a little firewood, the next person is out cutting cords of wood. So that way we don't want to deal with that. So we put that into the covenants and they're written. Like I said, I have no problems whatsoever taking a look at Ashbury's covenants [inaudible]. I think it should be another addition of that subdivision.

Jim Bandura:

And a question to staff. Jean, we'll be seeing the residential portion of this, again, the Plan Commission?

Jean Werbie-Harris:

When you say the residential you mean the single family?

Jim Bandura:

Single family.

Jean Werbie-Harris:

Oh, absolutely, absolutely. There's multiple steps.

Tom Terwall:

Anything further?

Deb Skarda:

I've got a couple. So one thing you mentioned, it's kind of a trivial thing, but you said reflecting ponds. But the name is Fountain Ridge. Will your reflecting ponds have fountains?

Jeff Marlow:

Yes.

Deb Skarda:

Jean, you talked of the traffic pattern as far as the roundabout going in in H. Does that include improvements to Bain Station all the way through, or is there just going to be improvements at the roundabout? Because it's challenging sometimes on Bain Station especially if you want to get into that turn north into where those apartments are.

Jean Werbie-Harris:

And that's one of the details we have to work out as to how far that the improvements need to go from the roundabout west to at least that street like where the north/south street would go, and the roundabout going north, again, to that Street B. Those are some of the details that we have to work out to find out what needs to be done in order to address those improvements. I don't envision that the County is looking to widen H to four lanes at this time. That's not in their plans. So it will snake back down. But we do need to make sure that we address the accel/decel lane and the bump out or bypass lane on both H and on Bain Station Road. So we are working -- since it's still a conceptual plan at this point we have probably about 15 pages of comments, plus I have a couple more of people that brought me comments this week already so I would like to add those to them. But as they work through their process they need to get all those pieces together. Their engineer [inaudible] is working very closely with Kenosha County and with Matt Fineour of our Village staff. And you'll see those details again along with any improvements that are needed.

The other thing I just wanted to mention, and I'm not sure if you picked up on this, is that in addition the Village is requiring public sidewalks throughout our developments now, and there's actual public sidewalks adjacent to their east/west roads, their north/south roads and along that north/south road north of Bain Station Road to 94th Avenue. So I'm not sure if you caught some of the things that we are starting to implement now with the new developments.

Michael Serpe:

Jean, if you mentioned it I didn't hear it. Is there a street light district in this development?

Jean Werbie-Harris:

There will be a street lighting district no different than any of our other single family developments or our industrial developments. So they will be responsible for the installation of public street lights as well as the maintenance and the electrical facility charges for those street lights.

Michael Serpe:

Street lights I mean is this going to be only at the intersections, or is it going to be throughout the entire subdivision?

Jean Werbie-Harris:

I guess that's something that we have to talk about. I mean primarily in the single family subdivisions they've been at the entrances and every single intersection and at the ends where the cul-de-sacs are. So that's something that we would have to look at. At each entrance they're going to have some type of lighting so they've got a series of entrances. There's already four series of entrances so they'll have those four plus the entrances at the public streets. And, again, I'm not sure the full length of where the improvements are going but, again, that's a public street lighting plan as something we look at.

Michael Serpe:

Does Ashbury have post lamp requirements?

Jean Werbie-Harris:

They've got them at the entrances --

Michael Serpe:

No, the post lamps.

Jean Werbie-Harris:

Postal?

Michael Serpe:

Post lamps in front of each property. Prairie Ridge has that.

Jean Werbie-Harris:

I'm not sure. I don't think they do. Each subdivision kind of treats that a little bit differently. Not all of them in the Village have that. I don't know if they do.

Tom Terwall:

Anything further? If not I'll entertain a motion to send a favorable recommendation to the Village Board.

Jim Bandura:

So moved.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA WITH A SECOND BY JUDY JULIANA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE AMENDMENTS TO THE COMPREHENSIVE PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Now we need a motion --

Michael Serpe:

For the conceptual plan.

Tom Terwall:

Right.

Michael Serpe:

I'll move that approval.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JUDY JULIANA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE AMENDMENTS TO THE COMPREHENSIVE PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Thank you.

F. Consider approval of an Affidavit of Correction to CSM 2520 for the request of Bruce Johnson with Liberty Builders, agent for Robert and Dorothy Rufli owners of the vacant property generally located east of 39th Avenue at 114th Place related to relocation of access to Lot 2.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, this Item F is to consider the request of Bruce Johnson with Liberty Builders on behalf of Robert and Dorothy Rufli for approval of an Affidavit of Correction to CSM 2520 for the relocation of an access to Lot 2. It's a vacant property generally located east of 39th Avenue at 114th Place.

The petitioner is requesting approval of an Affidavit of Correction to CSM 2520 for the relocation of the 30 foot wide limited driveway access related to the access restriction on the vacant property generally located east of 114th Place. This is at the east end of the Creekside Hill CSM development. The current access point would require the removal of several trees and a significant amount of material that would need to be added to bring the property to grade. Relocating the driveway access location will allow for less invasive access to the site and will minimize tree removal. Any buildings or structures and parking and maneuvering lanes on the site will be required to meet the Village Zoning requirements.

So primarily what they're trying to do is they're trying to make an adjustment. Originally when we platted this CSM a number of years ago we gave our best estimate with the owner at that time that identified where she thought that that 30 foot wide driveway would come into the site. Again, this is a pretty wooded piece of property. And these property owners find that if they shift that driveway to the north it would minimize tree removal. Keep in mind that this is a very long property. It's a very long property that goes all the way to the bike trail. And as such it's zoned Ag in the back but they can't get to it. And so by moving this driveway further to the north they

can actually get to their properties in the front to build a home, but also get around and get all the way to the back of the property in order to work the land or to put a structure or to do something in the back. So this really minimizes the disturbance on the property. The staff recommends approval of the Affidavit of Correction to CSM 2520 as presented.

Tom Terwall:

What's your pleasure?

Wayne Koessl:

If the Commission doesn't have any questions, Chairman, I would move approval of the Affidavit of Correction to CSM 2520 and send a favorable recommendation to the Village Board to approve it subject to the conditions outlined in the staff memo of June 13, 2016.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE AFFIDAVIT OF CORRECTION FOR CSM 2520 SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Michael Serpe:

Tom, before we adjourn, we have two relatively new alternates. You're more than welcome to join in on the discussion, and I think they can vote, too, as well, right? They can join in on the discussion. So feel free.

[Inaudible]

7. ADJOURN.

Michael Serpe:

Now I move to adjourn.

Jim Bandura:

Second.

Tom Terwall:

It's been moved and seconded to adjourn. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Meeting Adjourned: 7:23 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT**
request of Carl Ambrosius, Agent for Skyline Towers LLC, owner of the property located 9511 81st Street to amend the Skyline Towers Planned Unit Development (PUD) to allow the decks to be setback a minimum of 30 feet rather than 35 feet to the property lines and to correct the site plan in Exhibit 1 of said PUD.

Recommendation:

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** subject to the comments and conditions of the July 11, 2016 Village Staff Report.

VILLAGE STAFF REPORT OF JULY 11, 2016

PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT request of Carl Ambrosius, Agent for Skyline Towers LLC, owner of the property located 9511 81st Street to amend the Skyline Towers Planned Unit Development (PUD) to allow the decks to be setback a minimum of 30 feet rather than 35 feet to the property lines and to correct the site plan in Exhibit 1 of said PUD.

On June 6, 2016 the Village Board approved the Skyline Towers Apartment Planned Unit Development (Ord. #16-14) for the proposed development. Upon submittal of the revised plans it was more clearly dimensioned on the plans that the decks adjacent to both 94th Avenue and 97th Court were less than the required 35 feet from the property lines.

In order to keep the design of the building and have the decks include the staff recommended columns, the deck foundations encroach into the setback; therefore the developer is requesting to amend the PUD to allow the decks to be setback 30 feet from the property lines. The building foundation will meet the required 35 foot setback. It was also noted that the building plans shown in Exhibit 1 needed to be corrected to show the required setbacks for the building and the deck, therefore Exhibit 1 of the PUD is also being amended to include this correct plan sheet.

Village staff recommends approval of the Zoning Text Amendment as presented in the attached ordinance amendment(yellow highlighted being amended red-strike-thru being deleted).

ORDINANCE # 16-

**ORDINANCE TO AMEND THE PLANNED UNIT DEVELOPMENT
PURSUANT TO CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE FOR
THE SKYLINE TOWERS APARTMENT DEVELOPMENT
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that Chapter 420 Attachment 3 Appendix C Specific Development Plan be for the Skyline Towers Planned Unit Development is hereby amended to read follows:

Skyline Towers Planned Unit Development

- a. It is the intent that the Skyline Towers Apartment Development, on the property as legally described below is in conformity with the Village of Pleasant Prairie (Village) adopted Comprehensive Land Use Plan and the Village adopted Prairie Ridge Neighborhood Plan; would not be contrary to the general health, safety, welfare and economic prosperity of the community; and that the architectural, building and site design, property management, landscaping, grading and drainage, lighting and general site development will result in an attractive and harmonious residential environment of sustained desirability and economic stability and will not adversely affect the property values of the surrounding neighborhood.
- b. Legal Description: The ~~properties~~ **property** included ~~are collectively~~ **is** known as Lot 3 of CSM 2458 as recorded at the Kenosha County Register of Deeds Office as Document #1420259, a re-division of Outlot 9 of the Prairie Ridge Subdivision and located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie is hereinafter referred to as the "DEVELOPMENT".
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations except as expressly modified in subsection (d) below.
 - (ii) The DEVELOPMENT shall be in compliance with the *Declaration of Covenants and Restrictions for Prairie Ridge Commercial Development*, as may be amended from time to time, as recorded at the Kenosha County Register of Deeds Office.
 - (iii) All private improvements for this DEVELOPMENT shall be installed and constructed by the Developer and all private improvements shall be maintained by the Owners of of the DEVELOPMENT as shown on the following plans and collectively known and the PUD Development Plans: **Exhibit 1:** Site and Civil Plans; **Exhibit 2:** Architectural Building Plans; and **Exhibit 3:** Building Material and Colors.
 - (iv) The DEVELOPMENT, including but not limited to, the building, accessory structure garbage enclosures, sign(s), fence(s), landscaping, parking lots, exterior site lighting, monument sign etc., and the site as a whole, shall be maintained both inside and outside in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. Maintenance shall be conducted on a regular basis both inside and outside of the buildings and site.

Skyline Towers Apartment
Planned Unit Development

- (v) The owners of the DEVELOPMENT shall be in compliance with the Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Village Board on June 6, 2016.
- (vi) The apartment building shall comply with the fire suppression requirements of Chapter 180 of the Village Municipal Code.
- (vii) Residential communication structures pursuant to Article XIV of the Village Zoning Ordinance are prohibited within the DEVELOPMENT.
- (viii) All buildings and site modifications (excluding general building and site maintenance) within the DEVELOPMENT shall be made in accordance with the applicable Village Ordinance and Codes at the time the modification is proposed.
- (ix) All building/structures and all exterior additions, remodeling or alterations to any building/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. with the Prairie Ridge entire commercial area included within the Prairie Ridge Subdivision.
- (x) All exterior site building and landscaping maintenance shall be performed regularly by the owners or managers of the DEVELOPMENT. Copies of any property inspection reports along with exterior and interior building inspection reports shall be made available to the Village upon request.
- (xi) On-site management and maintenance and cleaning staff shall be provided.
- (xii) Pursuant to the lease agreement no dogs or cats are allowed within the DEVELOPMENT.
- (xiii) No truck [e.g. semi cab, semi-trailer, construction vehicles (except when permitted construction activities are taking place), step vans, delivery vans (except when goods and merchandise are being delivered), business-related vehicles with advertising displayed on the vehicles, catering vehicles, other commercial vehicles, etc.] parking are allowed within the DEVELOPMENT.
- (xiv) Temporary or permanent storage containers (some having brand names such as P.O.D.S., S.A.M.S., etc.) are not allowed within the DEVELOPMENT.
- (xv) No flags, pennants, streamers, inflatable signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvi) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xvii) The DEVELOPMENT shall not be used for any outside parking (neither overnight nor during the day) of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations.
- (xviii) In the event that public transportation to service the DEVELOPMENT is requested, it shall be the responsibility of the property owner to fund the cost of providing such public transportation to and from the DEVELOPMENT.

Skyline Towers Apartment
Planned Unit Development

- (xix) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
 - (xx) The DEVELOPMENT, regardless of property ownership, shall be operated and maintained in a uniform manner and the DEVELOPMENT shall continue to operate under the detailed and structured process related to Leasing and Property Management as presented by the developer at the Public Hearing held by the Plan Commission on May 23, 2016 Plan Commission.
 - (xxi) The DEVELOPMENT shall be operated and maintained in a uniform manner, and shall continue to comply with this PUD, which may be amended from time to time regardless of property ownership. If the DEVELOPMENT, or any portion of the DEVELOPMENT, is sold to another entity(s), the DEVELOPMENT shall continue to operate and be maintained as a unified residential development. All of the building exteriors shall be maintained and shall be painted only with the approved colors as shown on **Exhibit 3**, unless expressly approved by the Village.
 - (xxii) No land divisions shall be allowed within the DEVELOPMENT unless approved by the Village.
- d. Specific Modifications to the Village Ordinance and Regulations and Specific Requirements for the DEVELOPMENT:
- (i) Section 420-116 related to the R-11 Multiple-Family Residential District regulations is amended to read as follows:
 - A. Primary purpose and characteristics. The DEVELOPMENT will provide a multiple-family residential development wherein the net density shall not exceed 17.9 dwelling units per acre.
 - B. Permitted uses/structures within the DEVELOPMENT.
 - (1) One 60-unit building (6 efficiency units, 27 1-bedroom units and 27 2-bedroom units) with a minimum of 1 space per unit of underground parking and a detached garbage dumpster enclosure.
 - (2) Model units within the building.
 - (3) Home occupations per Article VII.
 - (4) Driveways and parking facilities per Article VII of Chapter 420 except as expressly amended in this PUD Ordinance.
 - (5) Decks and porches are part of the building therefore shall meet all the required building setbacks specified in this PUD Ordinance.
 - (6) Signs per Article X of Chapter 420 except as expressly amended in this PUD Ordinance.
 - (7) Essential services, which may be constructed on the lot prior to construction of the permitted principal structure.
 - C. Unclassified uses. It is recognized that it is neither possible nor practical to list all of the permitted accessory uses and

structures that are compatible with those listed above in Subsection B, and therefore it is intended that said list of accessory uses and structures be only illustrative. Any individual aggrieved by a failure to list a permitted accessory use or structure in said subsection shall have the right to file a petition with the Village Zoning Administrator for determination. The Village Zoning Administrator, in making the determination, shall find that an accessory use or structure is subordinate to the permitted principal use of a structure, land or water, is located on the same lot or parcel and serves a purpose customarily incidental to the permitted principal use in said district.

- D. Lot area and width.
- (1) The lot within the DEVELOPMENT shall have a minimum area of 108,900 square feet (2.5 acres).
 - (2) The lot within the DEVELOPMENT shall have a minimum frontage of 300 feet on a public street.
- E. Design standards.
- (1) The site and the building shall be constructed pursuant to the PUD Development Plans as conditionally approved by the Village Plan Commission on May 23, 2016 as shown on **Exhibits 1-3** of this PUD. Any alterations shall require approval of the Village Board by an amendment of this ordinance. Minor modifications may be approved in writing by the Zoning Administrator.
 - (2) The apartment building shall not exceed 51 feet in height.
 - (5) The units in the building shall meet the following requirements:
 - (a) Efficiency units shall have a minimum floor area of 600 square feet;
 - (b) One-bedroom units shall have a minimum floor area of 800 square feet;
 - (b) Two-bedroom units shall have a minimum floor area of 1,000 square feet.
 - (6) A minimum of 50% of the DEVELOPMENT shall remain as open space.
 - (7) The apartment building within the DEVELOPMENT shall:
 - (a) have an internal fire sprinkler system for fire safety;
 - (b) be constructed with 2 x 6 construction on the external walls of the buildings as shown on the approved PUD Development Plans;

Skyline Towers Apartment
Planned Unit Development

- (c) install high performance vinyl windows and patio doors with low E glass and argon gas as shown on the approved PUD Development Plans;
 - (d) install partial stone façade blended with maintenance free with aluminum frame and full glass front entry doors for security and aesthetics as shown on the approved PUD Development Plans;
 - (f) install and maintain an intercom entry system;
 - (g) use custom plastered interior walls as shown on the approved PUD Development Plans;
 - (h) provide individual sound walls to divide each unit as shown on the approved PUD Development Plans that specifically includes:
 - (i) Sound insulation between the floors and RC-1 channel is added to the underside of the floor truss for additional reduction of sound transfer;
 - (ii) $\frac{3}{4}$ inch gypcrete poured on 2nd and 3rd floors for another sound barrier and it also acts as another fire preventative;
 - (i) have deadbolt and peepholes in each of the individual unit entry doors; and
 - (j) install a 30 year dimensional shingle roofs as shown on the PUD Development Plans.
- F. Setbacks.
- (1) Street setback: ~~minimum of 35 feet from all public streets and the back of curb from any private street.~~ The building shall be setback a minimum of 35 feet from all public streets and the back of curb from any private streets; however decks may encroach 5 feet into the setback provided they are setback a minimum of 30 feet from all public streets and the back of curb from any private streets.
- G. Authorized sanitary sewer system. Pursuant to Section 420-32 of the Village Municipal Code. In addition, the sanitary sewer sampling manhole shall be installed pursuant to the PUD Development Plans (**Exhibit 1**) and maintained.
- H. Authorized water supply system. Municipal water is required for all domestic and fire protection water requirements of the development including the required irrigation system.
- (ii) Section 420-76 Q related to Multi-family Residential Development Identification Signs be amended to read as follows:

Q. Multi-family Residential Development Identification

- (1) Maximum number: one sign per development.
- (2) Minimum setback: five (5) feet from the right-of-way of a public street or back of curb of a private street.
- (3) Maximum height: six (6) feet.
- (4) Maximum area: 36 square feet per face.
- (5) Landscaping shall extend a minimum of three (3) feet in every direction from the base or other support structure of the sign, except if the sign is located in a boulevard island, then the landscaping shall not extend closer than two (2) feet from the back of the curb of the boulevard island. This needs to be confirmed on landscaping plans
- (6) May be illuminated.
- (7) May be placed on two (2) supports or may be placed on a solid-appearing decorative base which supports a minimum of 75% of the display of the sign.
- (8) The sign supports or base shall be constructed of materials that complement the materials used in the development.
- (9) Maximum height of base under display: two (2) feet.
- (10) Full street address and name shall be placed on the sign.

e. Amendments

- (i) The PUD regulations for said DEVELOPMENT may be amended pursuant to Section 420-13 of the Village Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this ____ day of _____ 2016.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

SKYLINE TOWERS

A DEVELOPMENT BY LEXINGTON HOMES

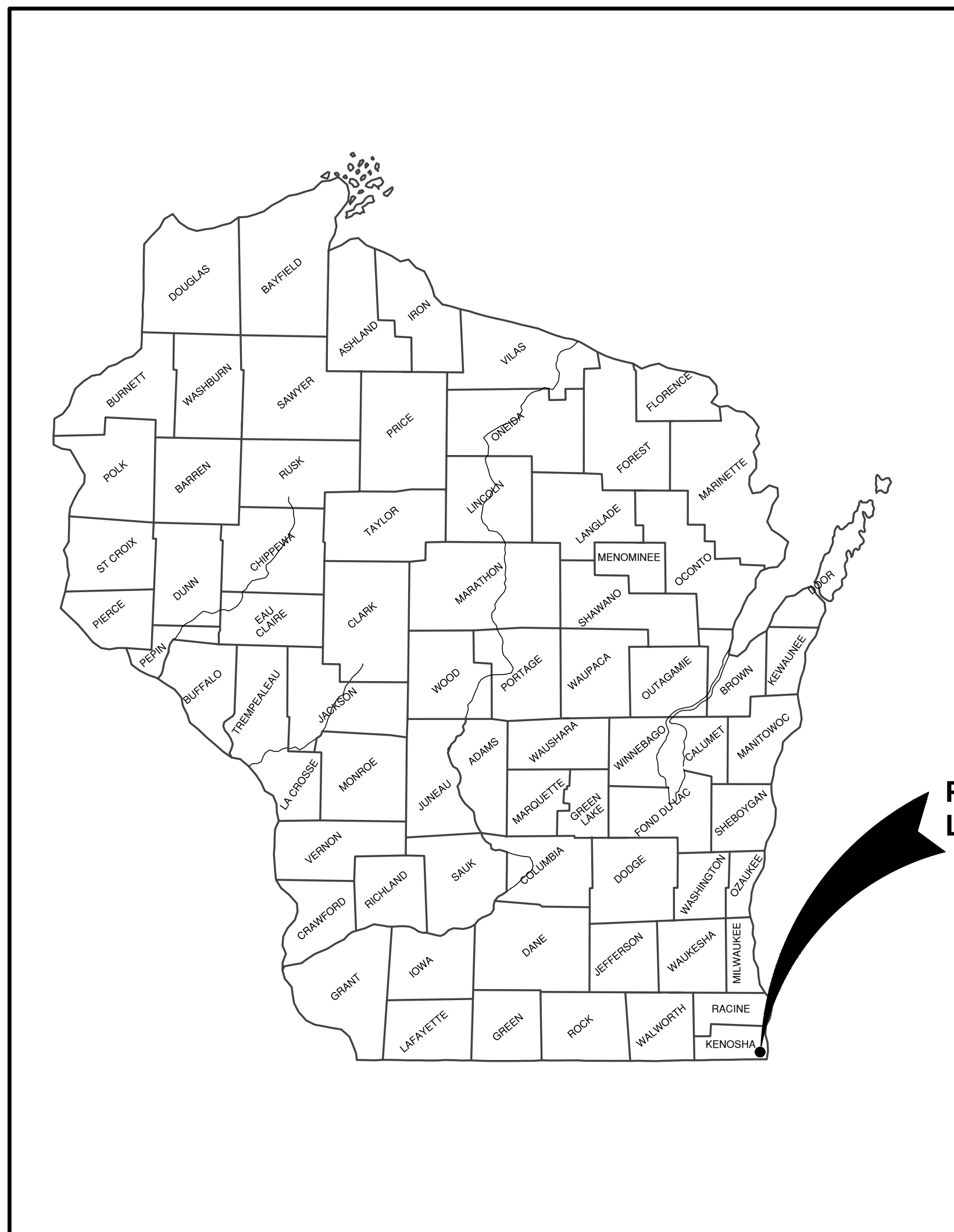
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

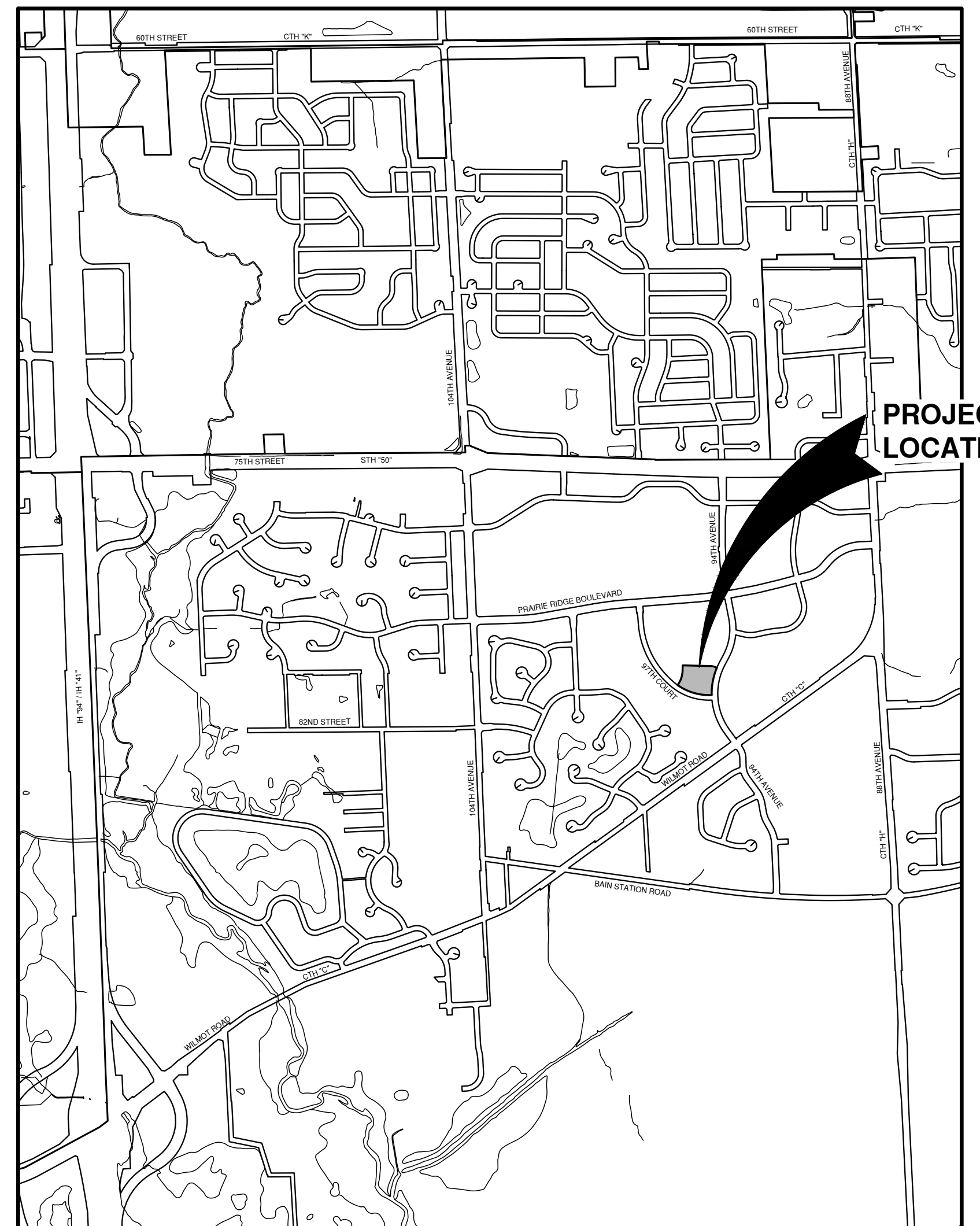
NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.

- TERMINAL CONTACT**
- PLEASANT PRAIRIE VILLAGE HALL**
THOMAS PLEASANT PRAIRIE, IL
CONTACT
- COMMUNITY DEVELOPMENT DEPARTMENT**
ADMINISTRATOR DIRECTOR PLANNING,
ADMINISTRATOR CONTACT
ADMINISTRATOR CONTACT
- ENGINEERING DEPARTMENT MATT**
MILLER CONTACT
MILLER CONTACT
- PUBLIC WORKS DEPARTMENT**
PUBLIC UTILITIES CONTACT
PERMITTING DEPARTMENT MUNICIPAL
ENGINEERING CONTACT
CONTACT
- BUILDING INSPECTION DEPARTMENT**
DIRECTOR PERMITTING
DIRECTOR CONTACT
DIRECTOR CONTACT
- FIRE & RESCUE DEPARTMENT**
MCMILLAN CONTACT
CHIEF CONTACT
CONTACT
- AMERICAN TRANSMISSION COMPANY**
CONTACT
- WISCONSIN D.O.T.**
CONTACT
- AT&T**
CONTACT
- TDS TELECOM**
CONTACT
- TIME WARNER CABLE**
CONTACT
- WE-ENERGIES**
CONTACT



VICINITY MAP



LOCATION MAP

| SHT. NO. | DESCRIPTION |
|----------|--|
| 1 | LOCATION MAPS AND INDEX TO DRAWINGS |
| 2 | EXISTING SITE CONDITIONS |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING AND EROSION CONTROL PLAN |
| 6 | MISCELLANEOUS DETAILS |
| 7 | MISCELLANEOUS DETAILS |
| 8 | MISCELLANEOUS DETAILS |
| 9 | MISCELLANEOUS DETAILS |
| 10 | EROSION CONTROL - INLET PROTECTION AND MISCELLANEOUS DETAILS |
| 11 | EROSION CONTROL - DITCH CHECK DETAILS |
| 12 | EROSION CONTROL - SHEET FLOW DETAILS |
| L | LANDSCAPE PLAN |
| E1 | LIGHTING PLAN |

File: P:\A\2014\1234\1234.dwg, 4/12/2016, 10:15:00 AM

| BENCHMARK | | |
|---|--|--------|
| BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. | | |
| FIELD VERIFY BENCHMARKS FOR ACCURACY. | | |
| NO. | DESCRIPTION | EL. |
| 1 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 720.73 |
| 2 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 727.46 |
| 3 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 734.86 |
| 4 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 718.73 |
| 5 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 725.95 |
| 6 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 727.64 |

NER INFORMATION

SKYLINE TOWERS, LLC
1300 N KIMPS CT
GREEN BAY, WI 54313

(920) 662-1611

CONTACT: JEFF MARLOW

CONTRACTOR INFORMATION

LXINGTON HOMES, INC.
1300 N KIMPS CT
GREEN BAY, WI 54313

(920) 655-1961

CONTACT: CARL AMBROSIO

UTILITY INFORMATION

UTILITIES PRESENT:
PLEASANT PRAIRIE UTILITY DEPARTMENT, AT & T, TIME WARNER CABLE AND WE ENERGIES.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBERS 20160905163, 20160905172 AND 20160905177, DATED 03/07/2016. VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM
PLEASANT PRAIRIE UTILITY DEPT
9915 39TH AV
PLEASANT PRAIRIE, WI 53158

(262) 694-1400

TELECOMMUNICATIONS:
AT & T / SBC
9800 76TH ST SUITE 104
PLEASANT PRAIRIE, WI 53158

(262) 697-7100

GAS & ELECTRIC:
WE ENERGIES
231 W MICHIGAN ST
MILWAUKEE, WI 53203

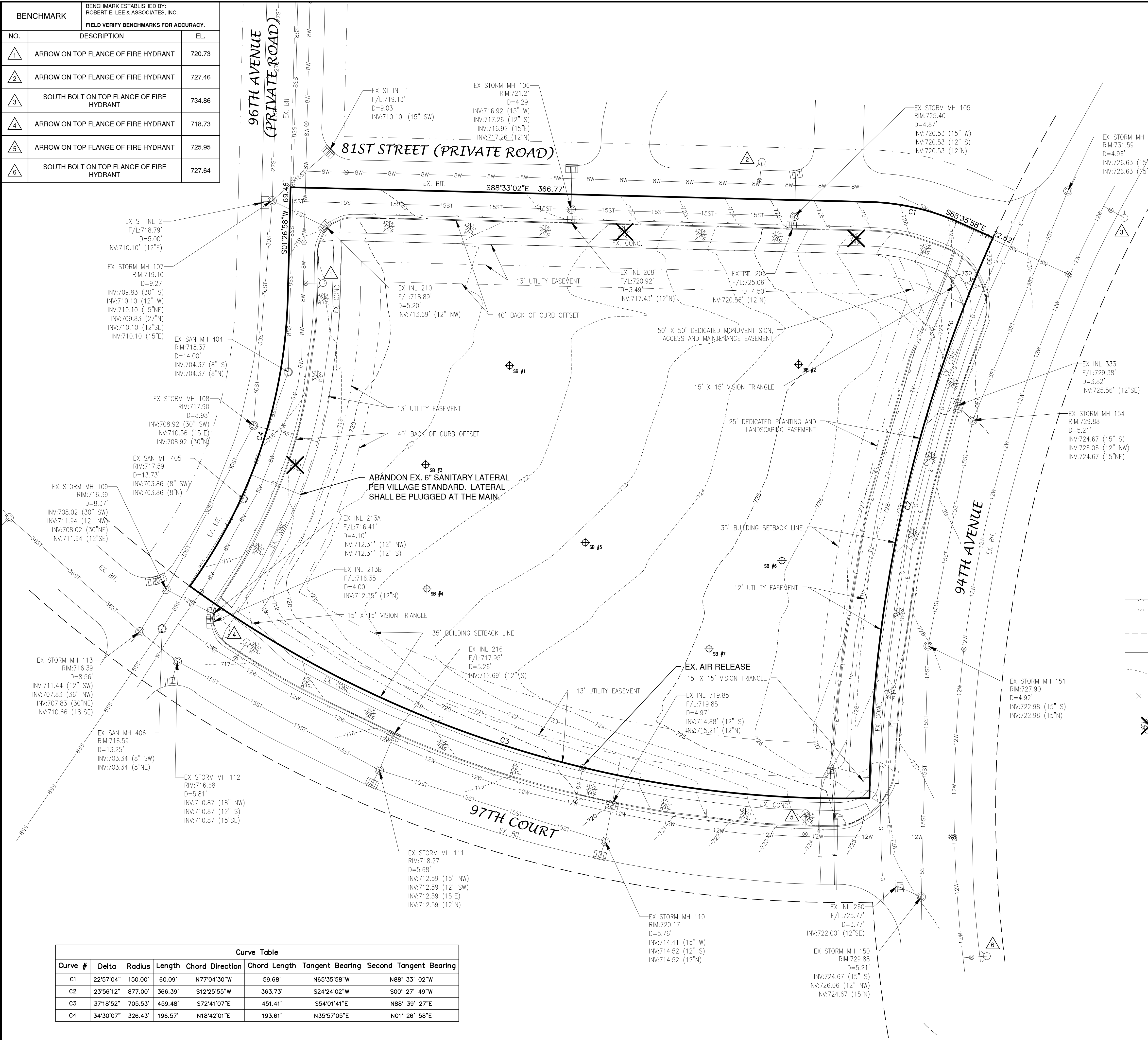
(414) 221-2345

TELECOMMUNICATIONS:
TIME WARNER CABLE
1320 NORTH MARTIN LUTHER KING JR DR
MILWAUKEE, WI 53212

(414) 277-4111

LEGEND

- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCRASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL
- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- CONCRETE
- WETLANDS
- HANDICAP PARKING
- SANITARY SEWER (SIZE NOTED)
- FORCE MAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- GR. GRAVEL
- BIT. BITUMINOUS
- ASPH. ASPHALT
- CONC. CONCRETE
- SW SIDEWALK
- BLDG BUILDING
- HSE HOUSE
- PED PEDESTAL
- PP POWER POLE
- LP LIGHT POLE
- BM BENCHMARK
- WM WATERMAIN
- HYD. HYDRANT
- SAN SANITARY SEWER
- ST STORM SEWER
- MH MANHOLE
- CB CATCH BASIN
- TELE TELEPHONE
- ELEC ELECTRIC
- TV TELEVISION
- EX EXISTING
- PP PROPOSED
- EOR END OF RADIUS
- BOC BACK OF CURB
- B-B BACK TO BACK (OF CURB)
- F-F FACE TO FACE (OF CURB)
- R/W RIGHT OF WAY
- T/C TOP OF CURB
- F/L FLOW LINE
- C/L CENTERLINE
- R RADIUS
- INV. INVERT
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- CULV. CULVERT
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- CONTOUR LINE
- FENCE
- TREE/SHRUB TO BE REMOVED



| Curve # | Delta | Radius | Length | Chord Direction | Chord Length | Tangent Bearing | Second Tangent Bearing |
|---------|-----------|---------|---------|-----------------|--------------|-----------------|------------------------|
| C1 | 22°57'04" | 150.00' | 60.09' | N77°04'30"W | 59.68' | N65°35'58"W | N88° 33' 02"W |
| C2 | 23°56'12" | 877.00' | 366.39' | S12°25'55"W | 363.73' | S24°24'02"W | S00° 27' 49"W |
| C3 | 37°18'52" | 705.53' | 459.48' | S72°41'07"E | 451.41' | S54°01'41"E | N88° 39' 27"E |
| C4 | 34°30'07" | 326.43' | 196.57' | N18°42'01"E | 193.61' | N35°57'05"E | N01° 26' 58"E |

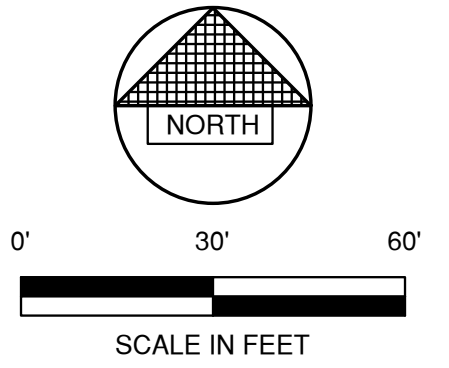
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHEEKED |
| 2 | 05/23/2016 | AJB | SITE PLAN COMMENT REVISIONS | | | | | JGS |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
A DEVELOPMENT BY LEXINGTON HOMES
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

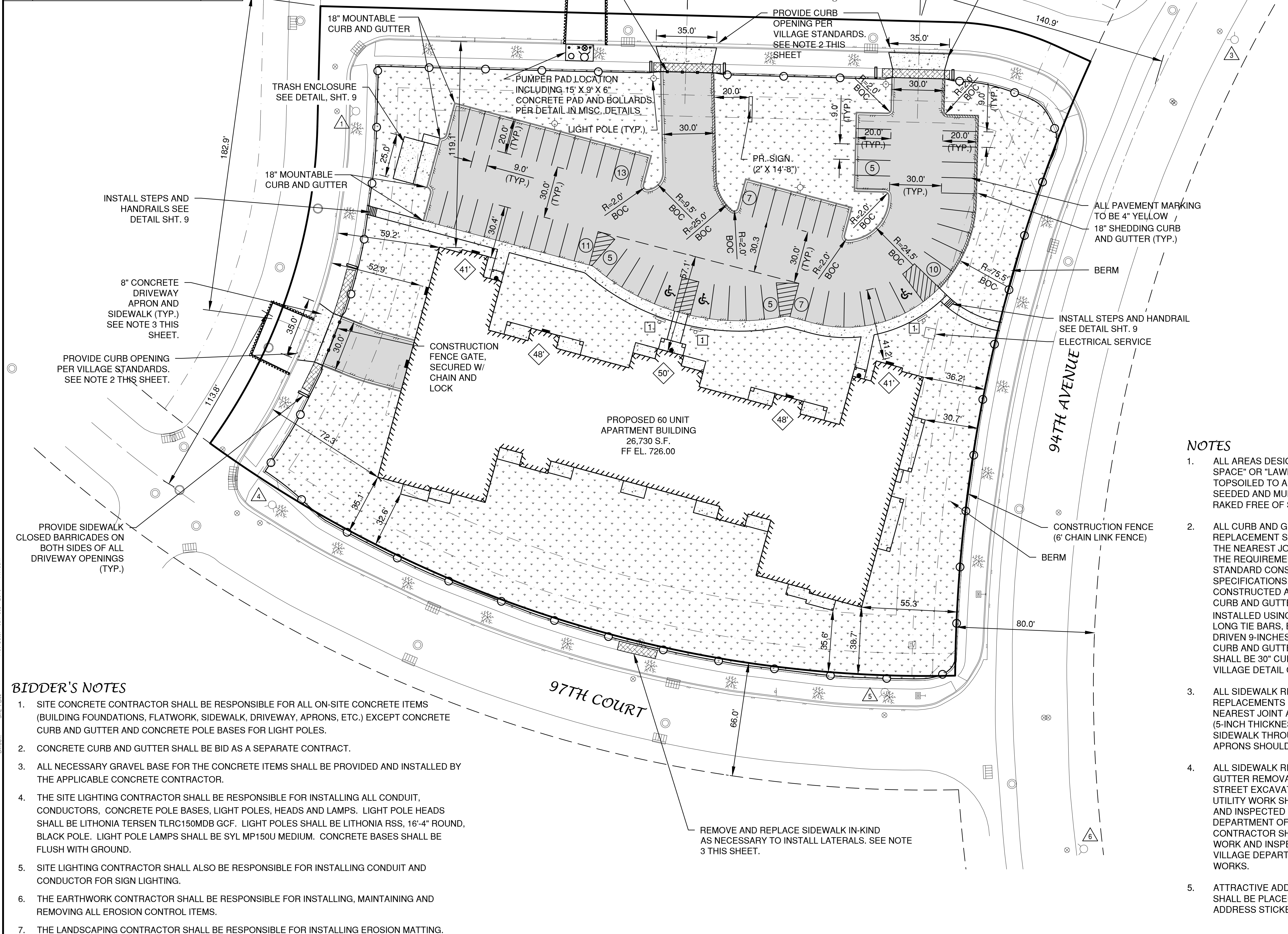
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



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1250 CENTERMAN CENTRE BOULEVARD HOBART, WI 54155
920-662-9541 www.reeinc.com
ANNIVERSARY Celebrating 60 Years of Excellence

| BENCHMARK | | |
|---|--|--------|
| BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. | | |
| FIELD VERIFY BENCHMARKS FOR ACCURACY. | | |
| NO. | DESCRIPTION | EL. |
| 1 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 720.73 |
| 2 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 727.46 |
| 3 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 734.86 |
| 4 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 718.73 |
| 5 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 725.95 |
| 6 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 727.64 |



PARKING DATA
 SURFACE PARKING SPACES PROVIDED = 63
 UNDERGROUND PARKING SPACES PROVIDED = 60
 SURFACE HANDICAP ACCESSIBLE PARKING SPACES = 3
 UNDERGROUND HANDICAP ACCESSIBLE PARKING SPACES = 2
 TOTAL PARKING SPACES PROVIDED = 123

(33) 1 - BEDROOM UNITS X 1.5 SPACES = 49.5 SPACES UNIT
 (27) 2 - BEDROOM UNITS X 2 SPACES = 54 SPACES UNIT

60 TOTAL UNITS X 1 SPACE = 7.5 SPACES 3 UNITS
 TOTAL SPACES REQUIRED = 111 SPACES

SITE DATA
 TOTAL AREA = 2.83 ACRES, 123,229 S.F.
 BUILDING AREA = 0.61 ACRES, 26,730 S.F. (21.5%)
 SIDEWALK/PARKING LOT AREA = 0.78 ACRES, 33,946 S.F. (27.6%)
 GREEN SPACE = 1.44 ACRES, 62,553 S.F. (50.9%)

ZONING
 PUD

PARCEL INFO
 SKYLINE TOWERS
 PARCEL NUMBER: 91-4-122-084-0413

ALL OF LOT 3, CERTIFIED SURVEY MAP NUMBER 2458, DOCUMENT 1420259, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, ALL LOCATED IN SECTION 8, T1N, R22E, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NOTES

- ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
- ALL CURB AND GUTTER REMOVALS / REPLACEMENT SECTIONS SHALL BE TO THE NEAREST JOINT AND SHALL MEET THE REQUIREMENTS OF THE VILLAGE STANDARD CONSTRUCTION SPECIFICATIONS. CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING (2) NO. 4 (1/2"), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER. CURB AND GUTTER SHALL BE 30" CURB AND GUTTER PER VILLAGE DETAIL ON SHEET 9.
- ALL SIDEWALK REMOVALS OR REPLACEMENTS SHALL BE TO THE NEAREST JOINT AND SHALL BE IN-KIND (5-INCH THICKNESS) EXCEPT THE SIDEWALK THROUGH THE DRIVEWAY APRONS SHOULD BE 8-INCH.
- ALL SIDEWALK REPAIR, CURB AND GUTTER REMOVAL AND REPLACEMENT, STREET EXCAVATION AND PUBLIC UTILITY WORK SHALL BE COORDINATED AND INSPECTED BY THE VILLAGE DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL COORDINATE WORK AND INSPECTIONS WITH THE VILLAGE DEPARTMENT OF PUBLIC WORKS.
- ATTRACTIVE ADDRESS NUMERALS SHALL BE PLACED ON THE BUILDING, NO ADDRESS STICKERS ON THE DOORS.

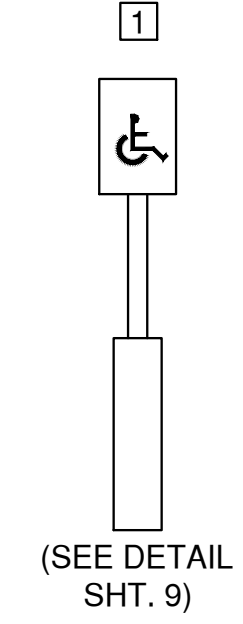
LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB & GUTTER (UNLESS OTHERWISE NOTED)
- PROPOSED 18" SHEDDING CURB & GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- LIGHT POLE
- LED WALL PACK
- CAN LIGHT
- BUILDING HEIGHT AT FRONT OF BUILDING

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

BIDDER'S NOTES

- SITE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE CONCRETE ITEMS (BUILDING FOUNDATIONS, FLATWORK, SIDEWALK, DRIVEWAY, APRONS, ETC.) EXCEPT CONCRETE CURB AND GUTTER AND CONCRETE POLE BASES FOR LIGHT POLES.
- CONCRETE CURB AND GUTTER SHALL BE BID AS A SEPARATE CONTRACT.
- ALL NECESSARY GRAVEL BASE FOR THE CONCRETE ITEMS SHALL BE PROVIDED AND INSTALLED BY THE APPLICABLE CONCRETE CONTRACTOR.
- THE SITE LIGHTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONDUIT, CONDUCTORS, CONCRETE POLE BASES, LIGHT POLES, HEADS AND LAMPS. LIGHT POLE HEADS SHALL BE LITHONIA TERSEN TLRC150MDB GCF. LIGHT POLES SHALL BE LITHONIA RSS, 16'-4" ROUND, BLACK POLE. LIGHT POLE LAMPS SHALL BE SYL MP150U MEDIUM. CONCRETE BASES SHALL BE FLUSH WITH GROUND.
- SITE LIGHTING CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR INSTALLING CONDUIT AND CONDUCTOR FOR SIGN LIGHTING.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION CONTROL ITEMS.
- THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION MATTING.



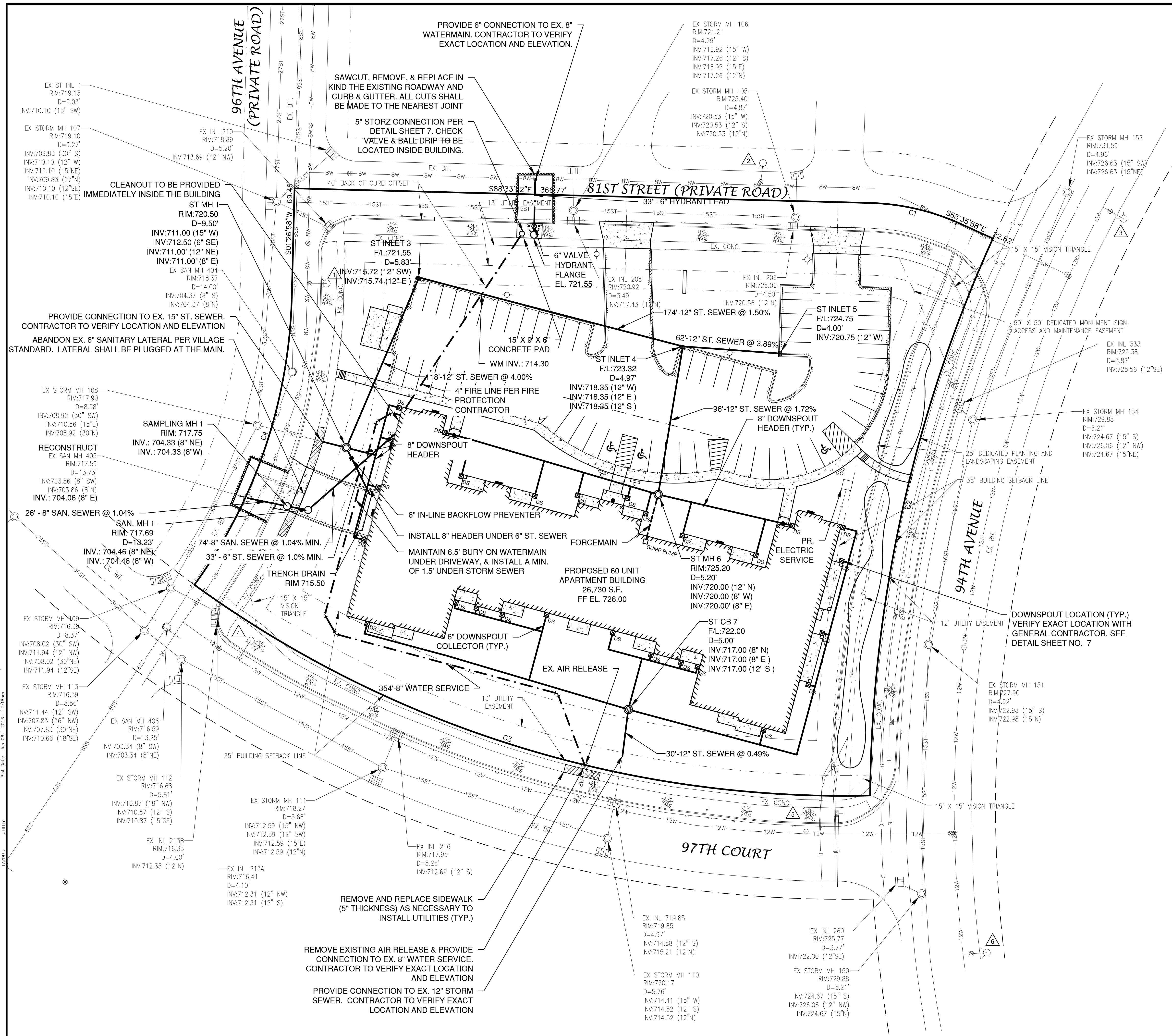
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHECKED |
| 2 | 05/23/2016 | AJB | SITE PLAN COMMENT REVISIONS | | | | | JGS |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
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 VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WISCONSIN

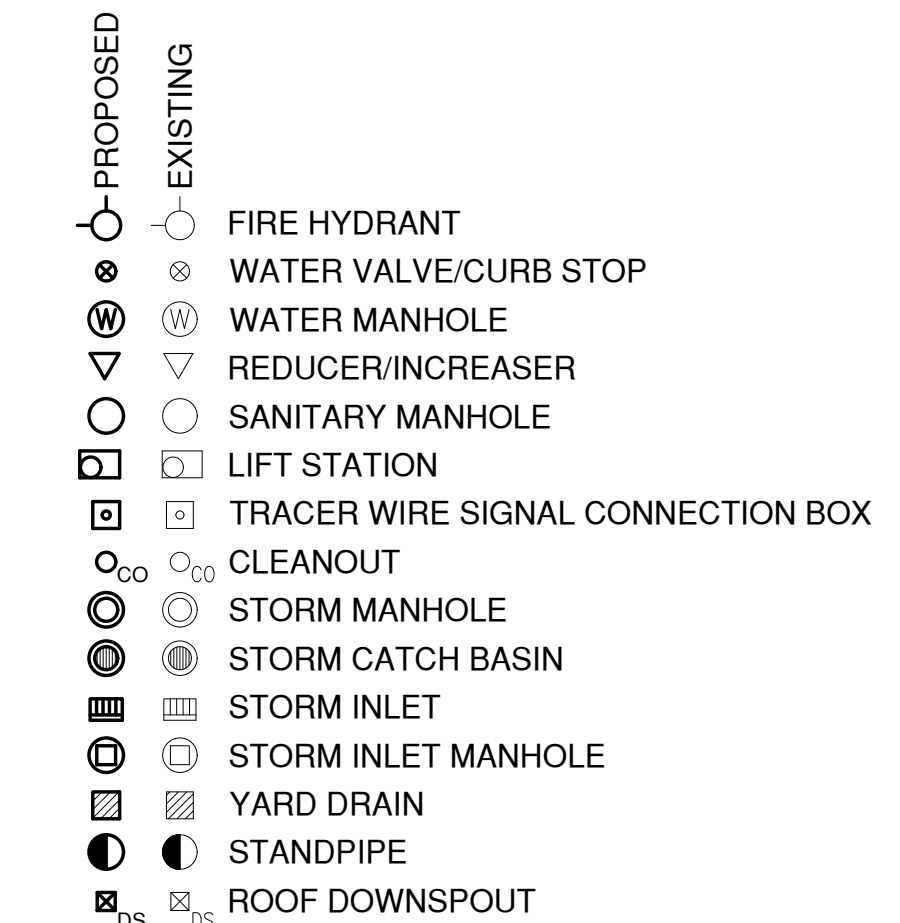
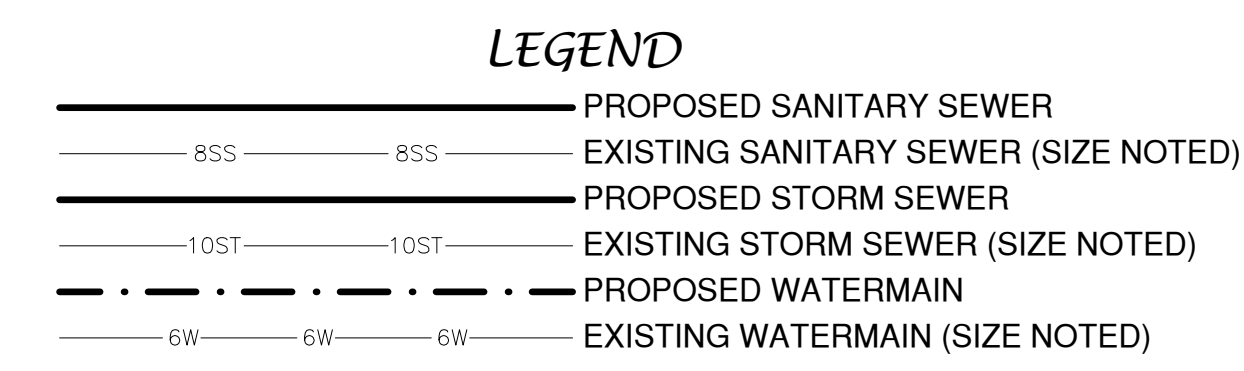
SITE PLAN

| | |
|---------|----------|
| DATE | 03/20/16 |
| FILE | 4329079D |
| JOB NO. | 4329079 |

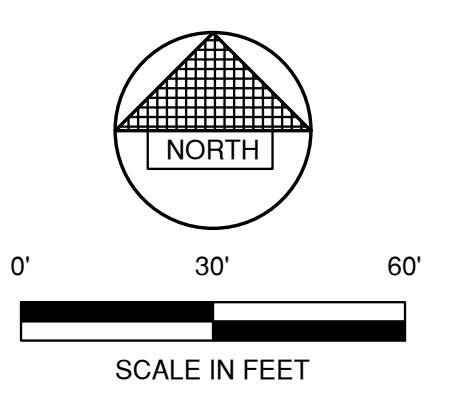
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- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 - ALL UTILITY TRENCHES OR EXCAVATION WORK WITHIN OR EXTENDING 5' BEYOND ROADWAYS SHALL BE BACKFILLED WITH SLURRY BACKFILL. ALL EXCAVATION WORK WITHIN SIDEWALK AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL OR SLURRY.
 - UTILITY CONTRACTOR SHALL PROVIDE PROPER TRENCH COMPACTION AND TESTING PER SPECIFICATIONS.
 - ALL EXISTING PUBLIC WATERMAIN VALVES SHALL BE OPERATED UNDER THE SUPERVISION OF THE VILLAGE PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE VILLAGE PUBLIC WORKS DEPARTMENT.
 - ALL DOWNSPOUTS SHALL BE TO GRADE AND WRAPPED OR PAINTED, NO EXPOSED PVC OR SILVER METAL EXTENSIONS OR PIPING.



| BENCHMARK | | BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY. | |
|-----------|--|--|--|
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| 2 | 05/23/2016 | AJB | SITE PLAN COMMENT REVISIONS | | | | |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | |

SKYLINE TOWERS
A DEVELOPMENT BY LEXINGTON HOMES
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

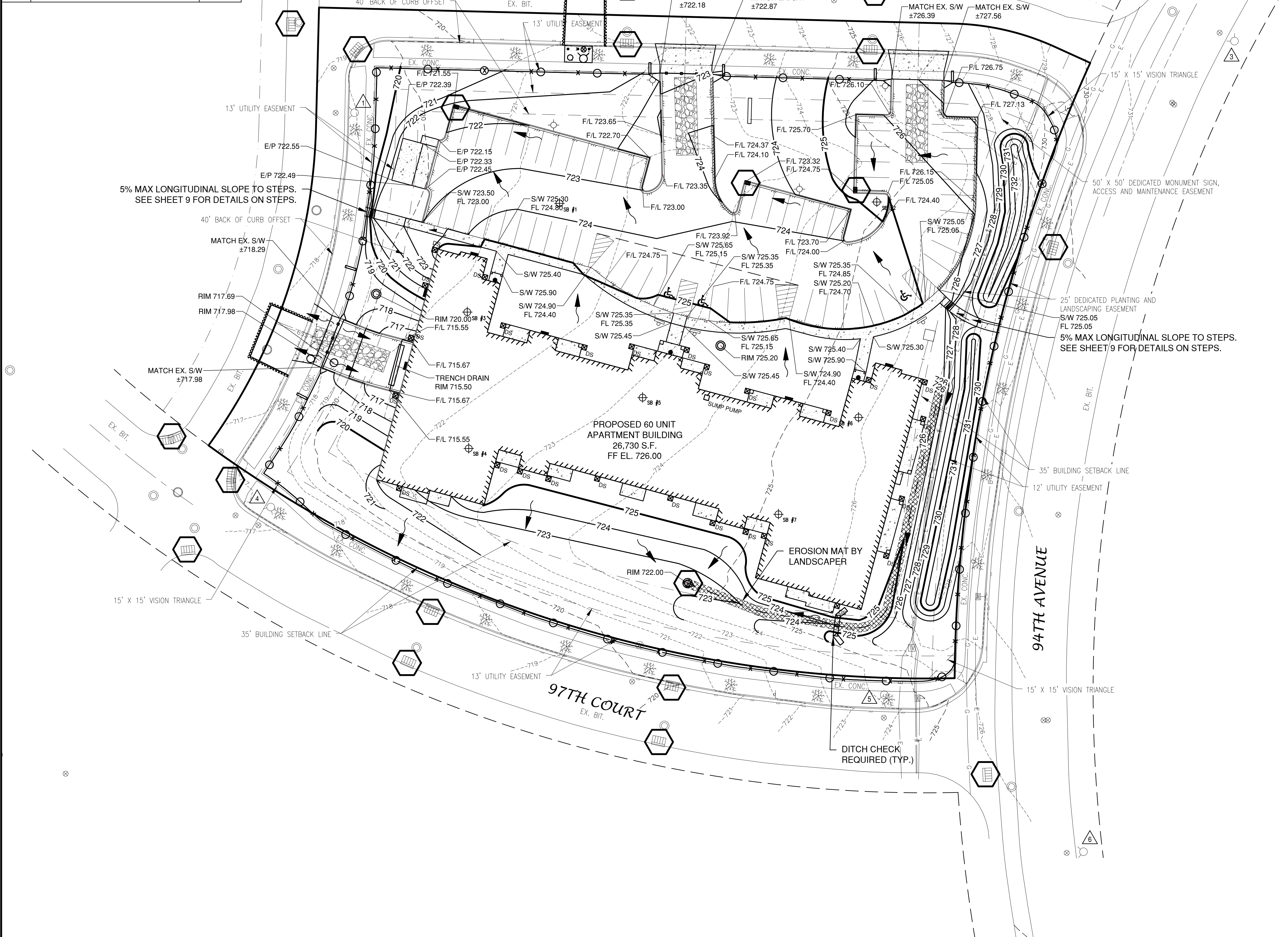
UTILITY PLAN

DATE: 03/2016
FILE: 4329079D
JOB NO.: 4329079

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SHEET NO. **4**

| BENCHMARK | | |
|---|--|--------|
| BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. | | |
| FIELD VERIFY BENCHMARKS FOR ACCURACY. | | |
| NO. | DESCRIPTION | EL. |
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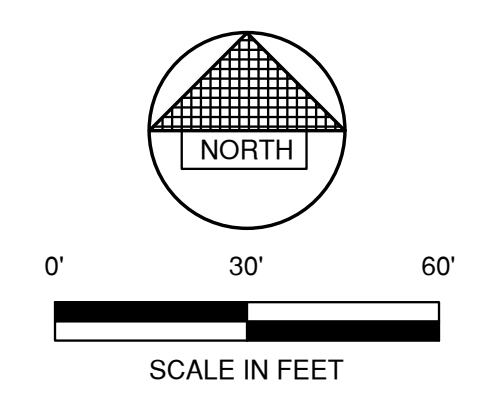
EROSION CONTROL
 ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF-SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.
5. EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION CONTROL ITEMS.
6. EARTHWORK CONTRACTOR SHALL PLACE AND COMPACT FILL MATERIAL PER SPECIFICATIONS (SECTION 31 23 16)

LEGEND

| | | |
|--|------------|---------------------------------|
| | T/C 999.99 | TOP OF CURB ELEVATION |
| | F/L 888.88 | FLOW LINE ELEVATION |
| | S/W 666.66 | TOP OF SIDEWALK ELEVATION |
| | E/P 555.55 | EDGE OF PAVEMENT ELEVATION |
| | R/W 444.44 | TOP OF RETAINING WALL ELEVATION |
| | 333.33 | GROUND ELEVATION |
| | | DRAINAGE SWALE |
| | | DRAINAGE DIVIDE |
| | | SILT FENCE |
| | | BAFFLE DITCH CHECK |
| | | FLOW ARROW |
| | | TRACKING PAD |
| | | INLET PROTECTION |

- CONSTRUCTION SEQUENCE**
1. EROSION CONTROL BMP'S SUCH AS SILT FENCE, TRACKING PADS, AND INLET PROTECTION SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY.
 2. THE SITE SHALL BE STRIPPED OF TOPSOIL AND GRADED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. TOPSOIL SHALL BE STOCKPILED ON SITE AND SILT FENCE INSTALLED AROUND THE PERIMETER OF THE PILE.
 3. ALL UTILITIES SHALL BE INSTALLED AT THIS TIME, FOLLOWED BY THE CONSTRUCTION OF THE PROPOSED BUILDING AND PARKING LOT.
 4. ONCE THE BUILDING AND PARKING LOT ARE COMPLETED, ALL REMAINING DISTURBED AREAS SHALL BE TOPSOILED, SEEDING, AND MULCHED.
 5. ONCE THE SITE HAS BEEN STABILIZED TO 70% VEGETATION, THE EROSION CONTROL BMP'S MAY BE REMOVED.



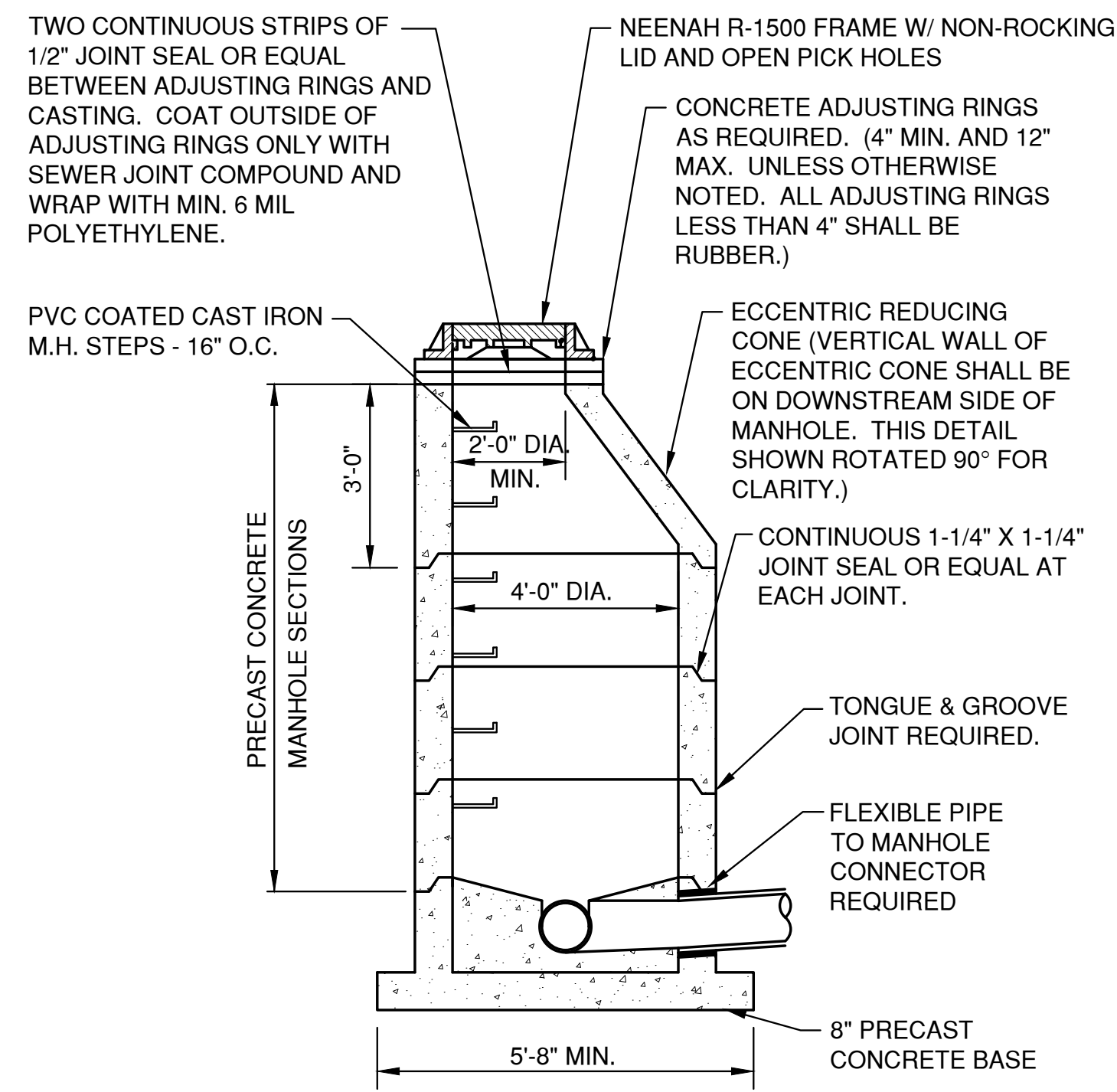
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| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHEKED |
| 2 | 05/23/2016 | AJB | SITE PLAN COMMENT REVISIONS | | | | | JGS |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
 A DEVELOPMENT BY LEXINGTON HOMES
 VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WISCONSIN

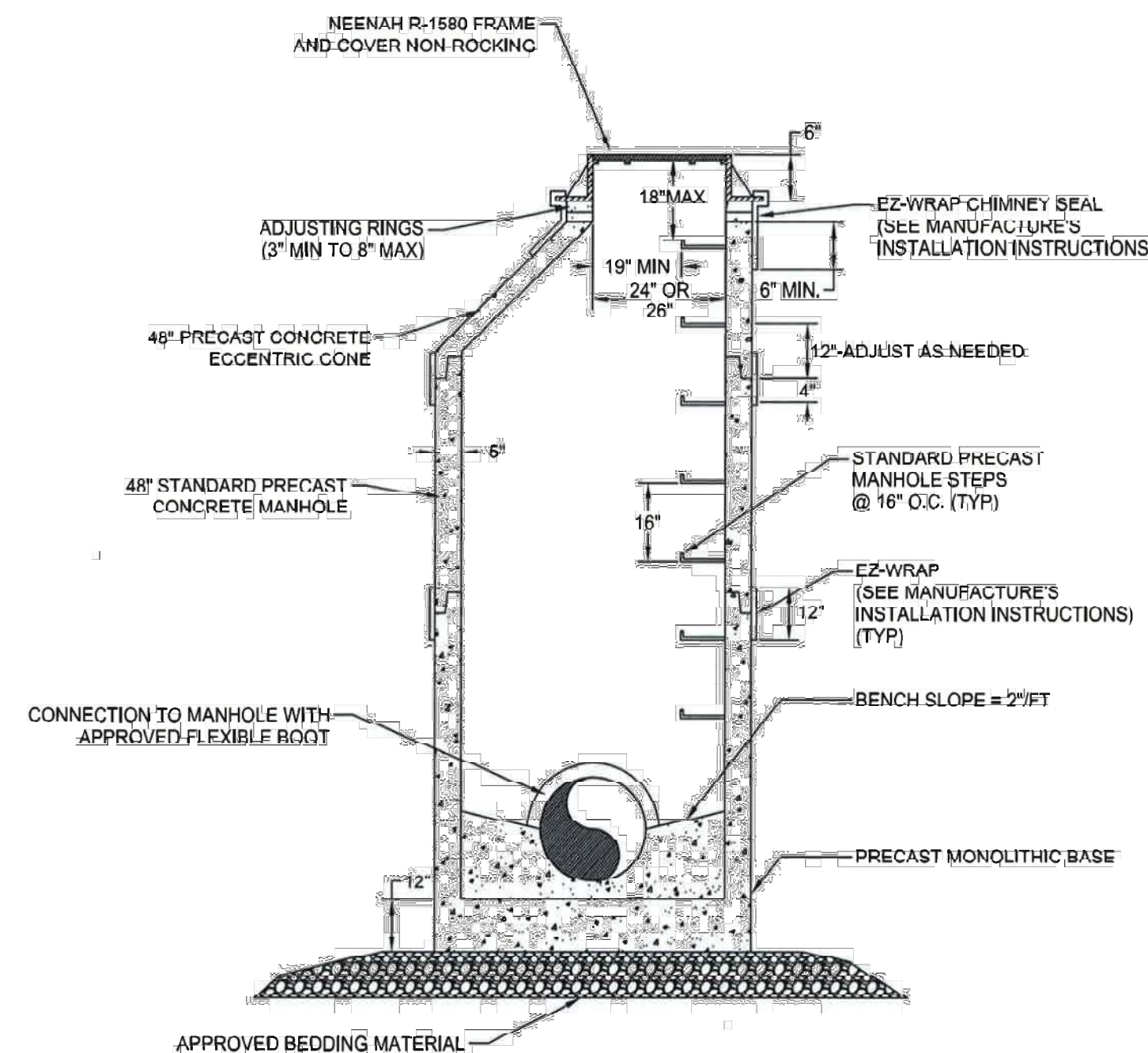
GRADING AND EROSION CONTROL PLAN

| | |
|---------|----------|
| DATE | 03/20/16 |
| FILE | 4329079D |
| JOB NO. | 4329079 |

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STORM STANDARD MANHOLE 8"-24" (INCLUSIVE)



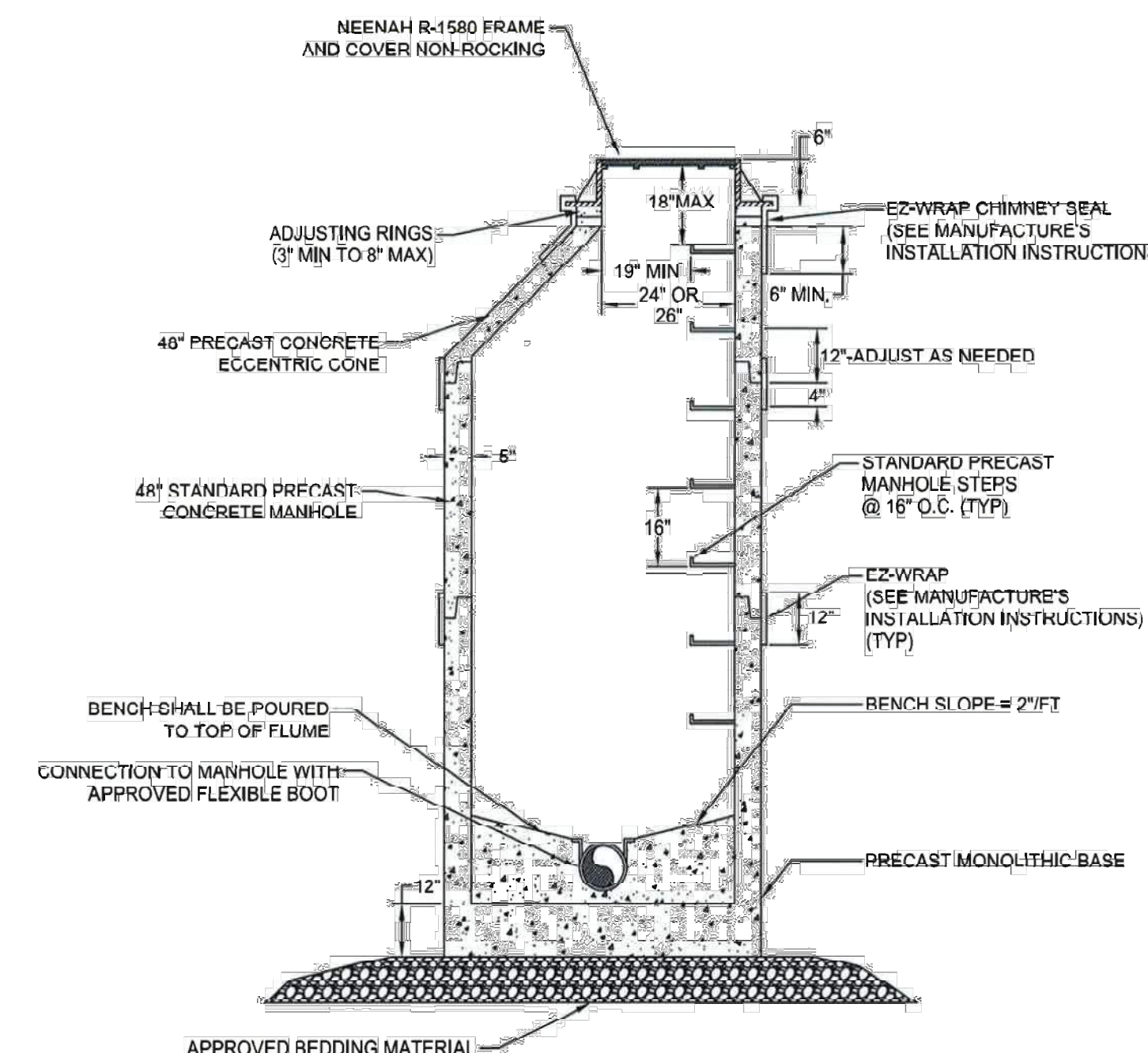
SCALE: NTS

STANDARD SANITARY MANHOLE DETAIL: SAN - 1

CREATED: 11-21-12

REVISED: 11-10-15

APPROVED BY: MATT FINEOUR



- NOTES:**
- STANDARD SAMPLING MANHOLE SHALL HAVE A PALMER-BOWLUS FLUME WITH INTEGRAL APPROACH INSTALLED.
 - VILLAGE OF PLEASANT PRAIRIE DPW SHALL BE CONTACTED FOR FINAL INSPECTION OF SAMPLING MANHOLES.
 - SEE DETAIL SAN 2A AND SAN 2B FOR PALMER BOWLUS FLUME DETAILS.
 - REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY MANHOLES.

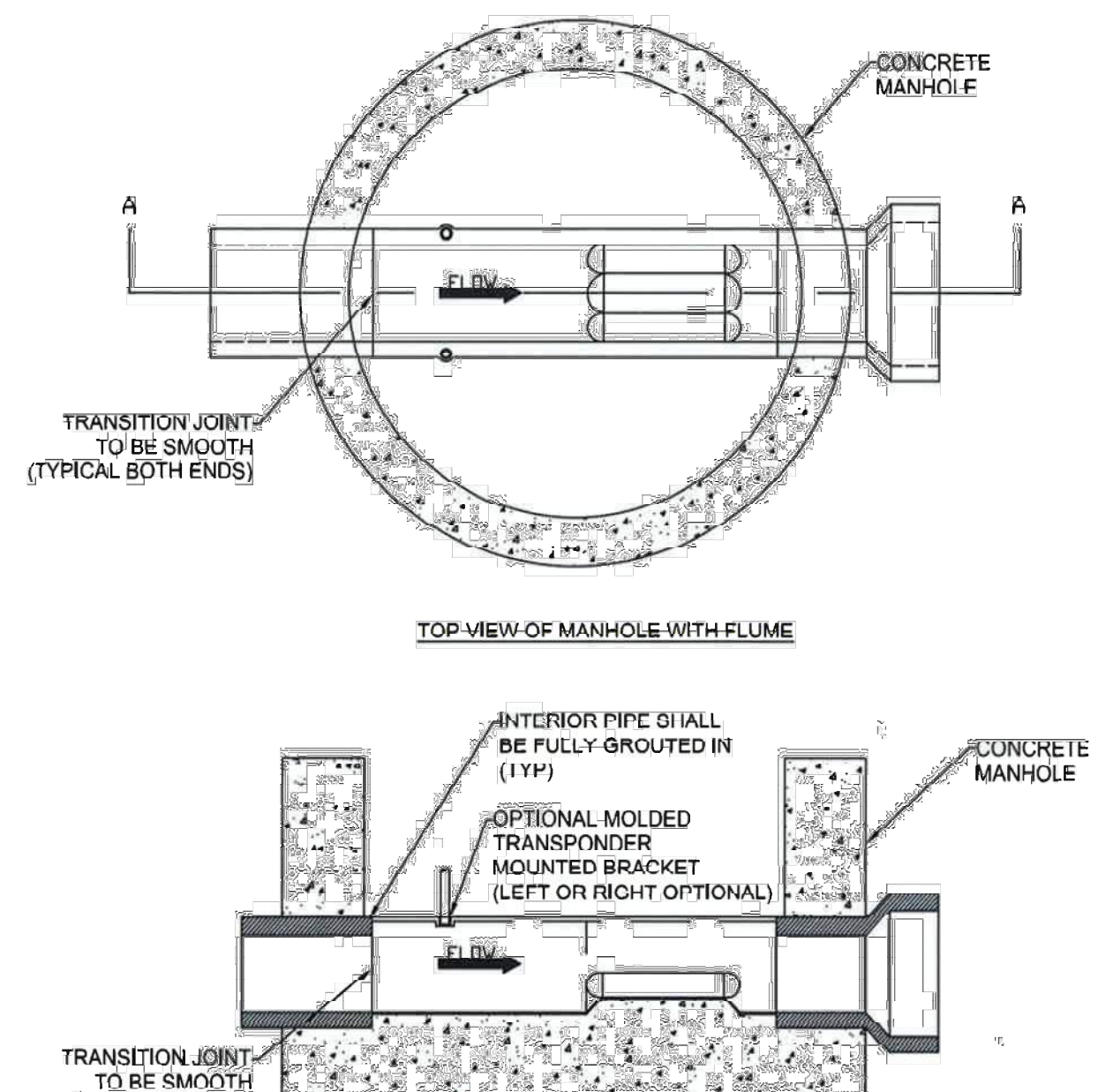
SCALE: NTS

STANDARD SAMPLING MANHOLE DETAIL: SAN - 2

CREATED: 11-21-12

REVISED: 11-10-15

APPROVED BY: MATT FINEOUR



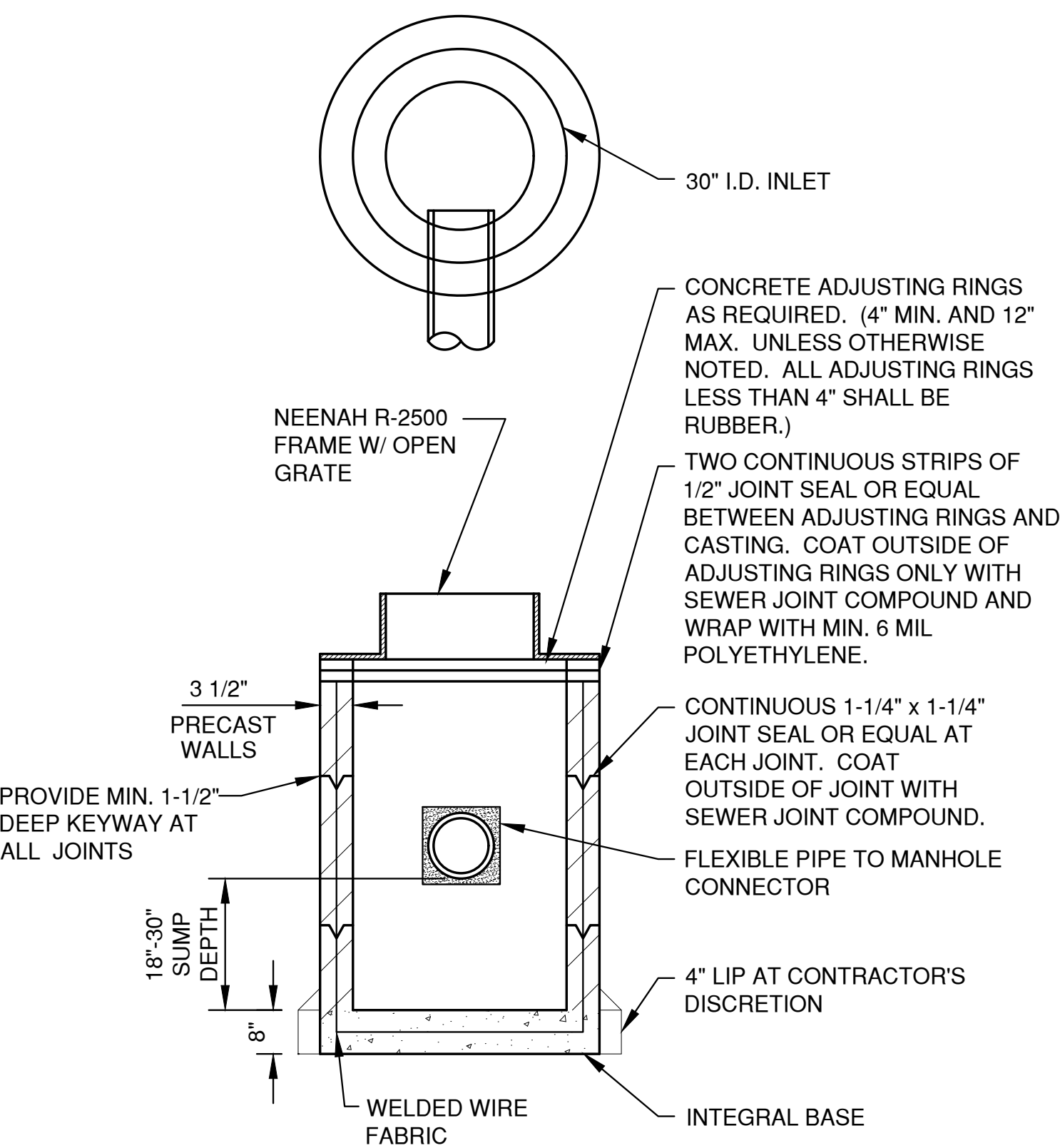
SCALE: NTS

PALMER-BOWLUS FLUME DETAIL (1 OF 2) DETAIL: SAN - 2A

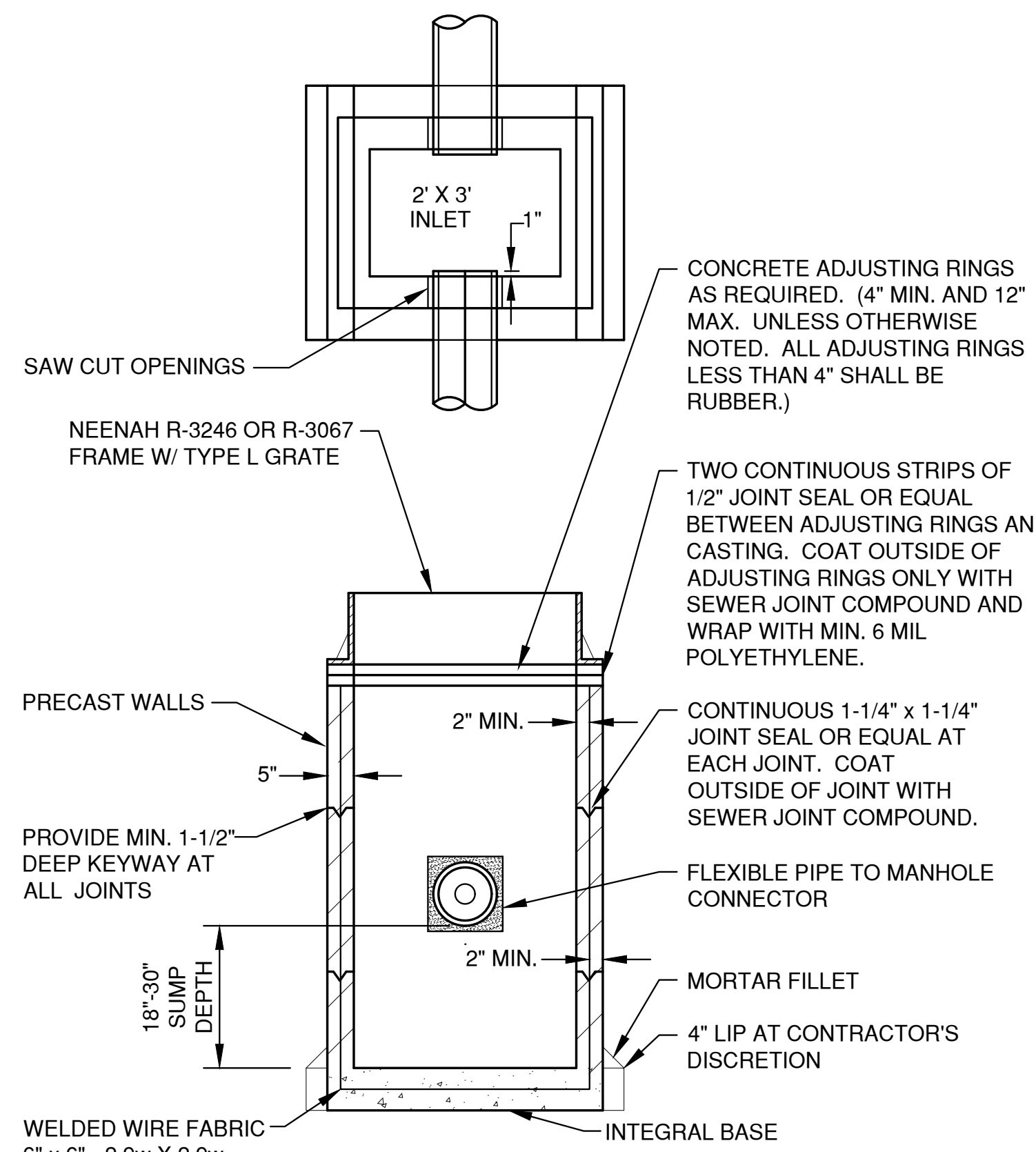
CREATED: 11-21-12

REVISED: 11-18-15

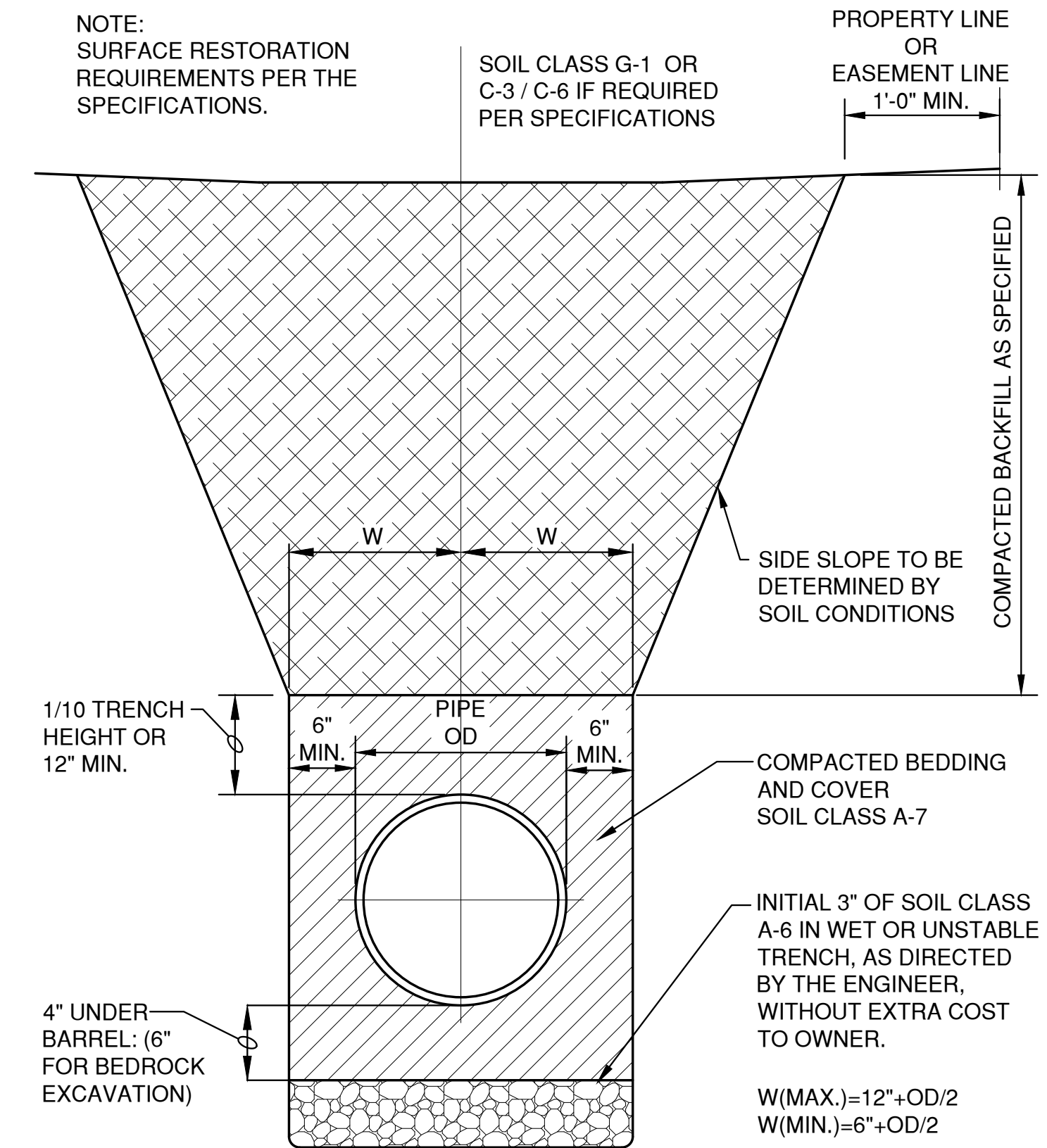
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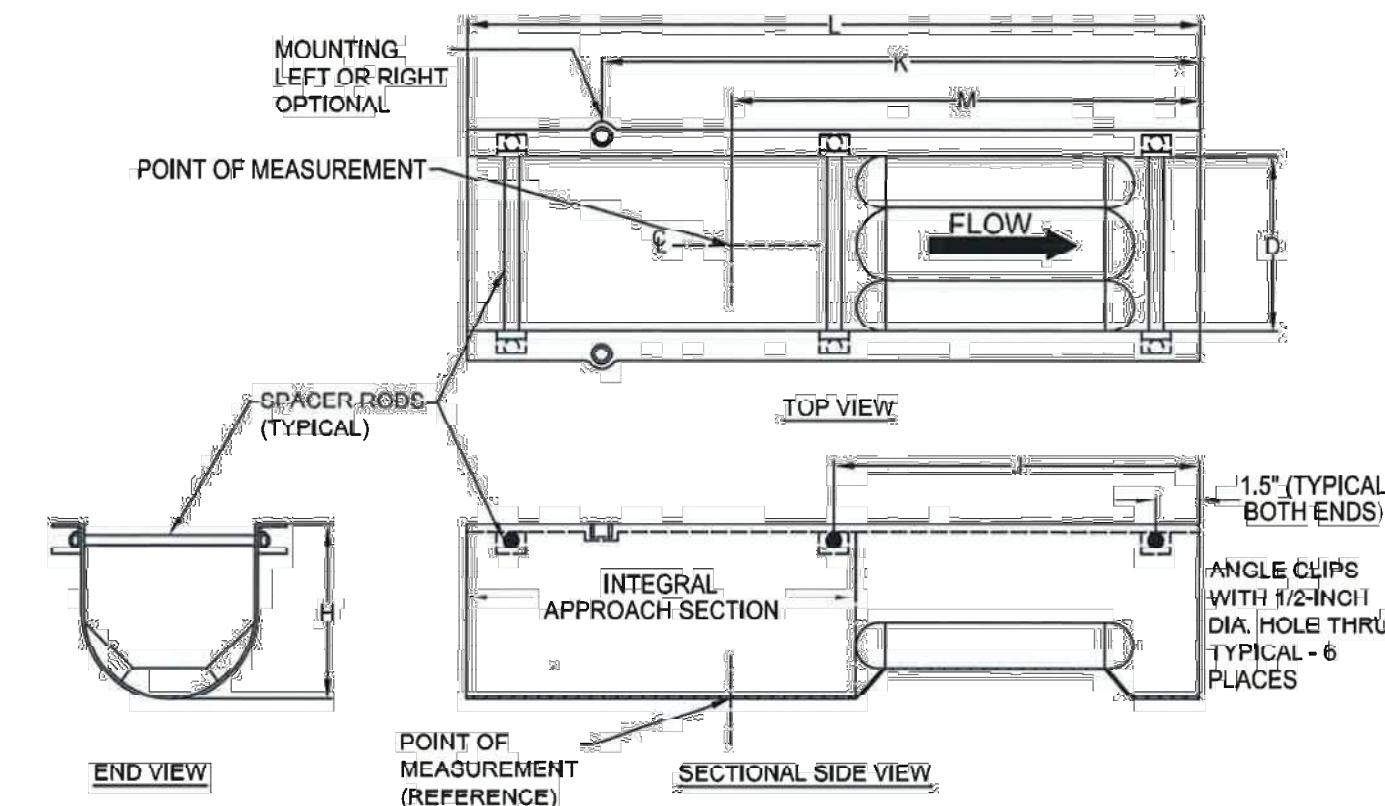
TYPE 'A' STORM INLET



TYPE 'B' STORM INLET



HDPE /PVC SEWER & WATERMAIN & FORCEMAIN BEDDING & TRENCH SECTION



DIMENSIONS TABLE

| PIPE SIZE | D | H | M | K | J | L |
|-----------|----|----|--------|----------|--------|-----|
| 4 | 4 | 6 | 11 | 15 7/16 | 8 1/2 | 17 |
| 6 | 6 | 8 | 16 | 20 7/16 | 12 1/2 | 25 |
| 8 | 8 | 10 | 21 | 25 7/16 | 16 1/2 | 33 |
| 10 | 10 | 12 | 26 | 30 7/16 | 20 1/2 | 41 |
| 12 | 12 | 14 | 31 | 35 7/16 | 24 1/2 | 49 |
| 15 | 15 | 17 | 36 1/2 | 42 15/16 | 30 1/2 | 61 |
| 18 | 18 | 20 | 46 | 50 7/16 | 36 1/2 | 73 |
| 24 | 24 | 26 | 53 1/2 | 57 15/16 | 42 1/2 | 85 |
| 24 | 24 | 26 | 61 | 65 7/16 | 48 1/2 | 97 |
| 27 | 27 | 29 | 68 1/2 | 72 15/16 | 64 1/2 | 109 |
| 30 | 30 | 32 | 70 | 80 7/16 | 60 1/2 | 121 |

- NOTES:**
- DIMENSIONS ARE IN INCHES, UNLESS OTHERWISE SPECIFIED.
 - DIMENSIONS PROVIDED FOR REFERENCE ONLY.

SCALE: NTS

PALMER-BOWLUS FLUME DETAIL (2 OF 2) DETAIL: SAN - 2B

CREATED: 11-21-12

REVISED: 11-16-15

APPROVED BY: MATT FINEOUR

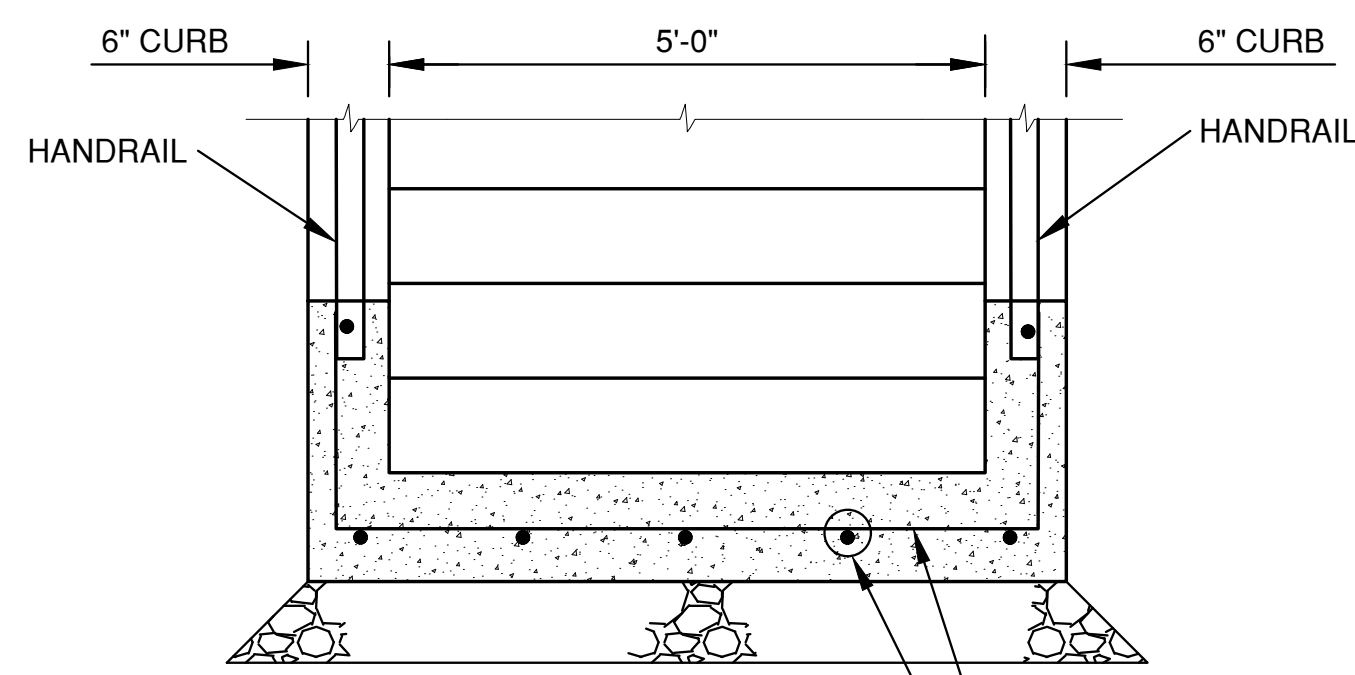
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|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHECKED |
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| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
A DEVELOPMENT BY LEXINGTON HOMES
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

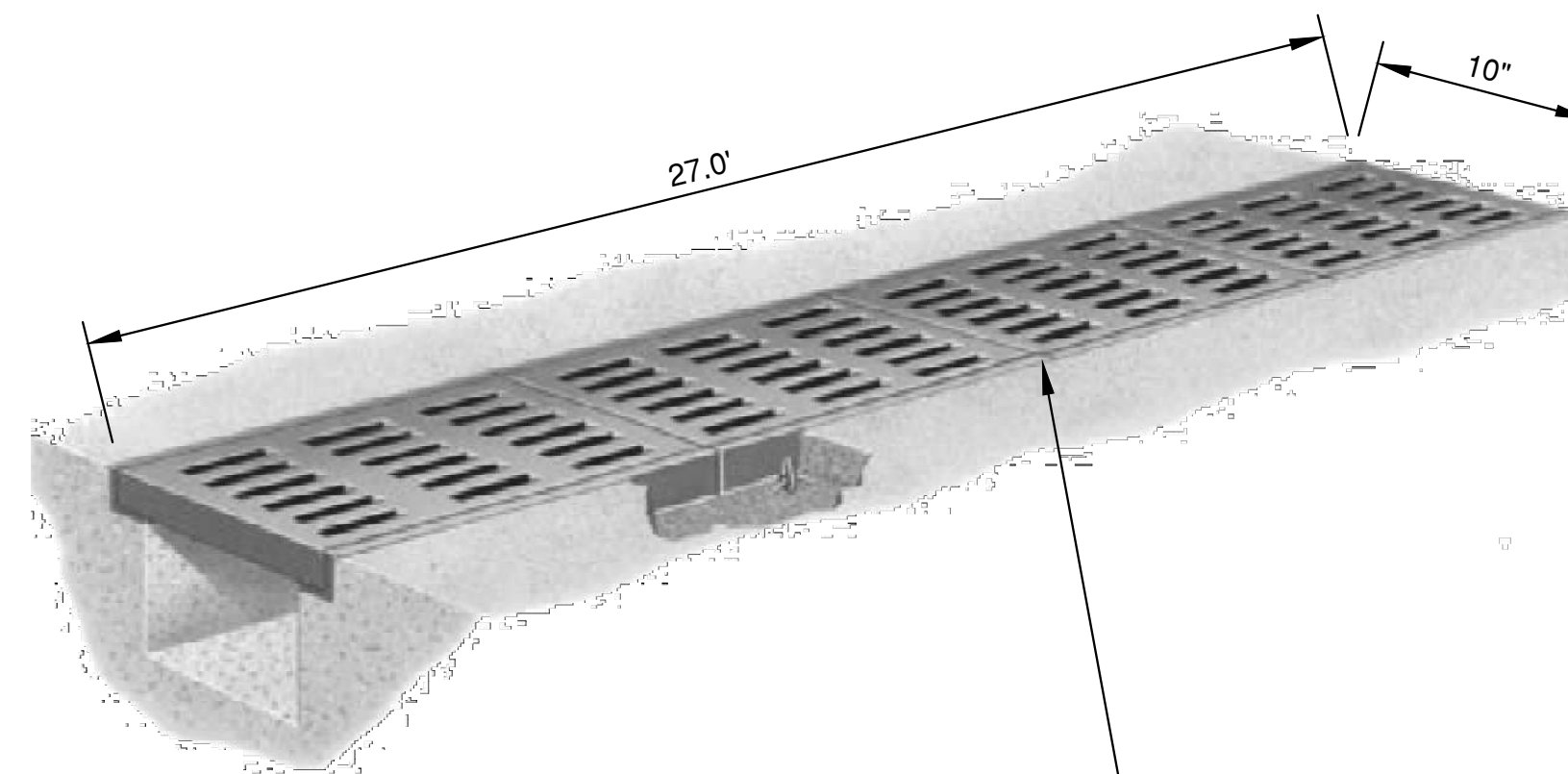
| | |
|---------|---------|
| DATE | 03/2016 |
| FILE | DETAILS |
| JOB NO. | 4329079 |

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SECTION $\frac{2}{14}$

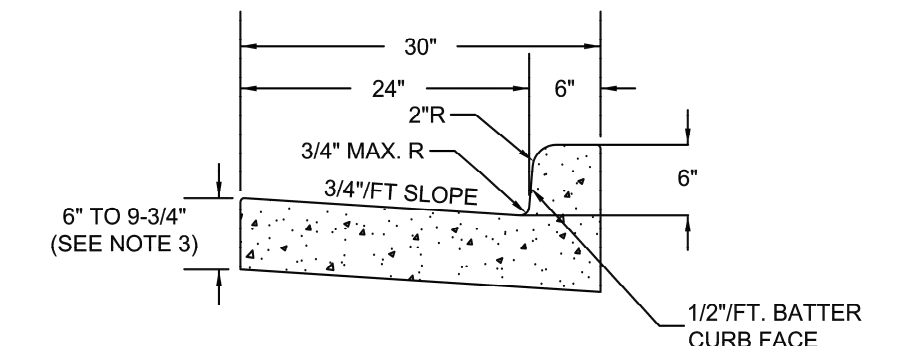
SCALE: 1" = 1'-0"



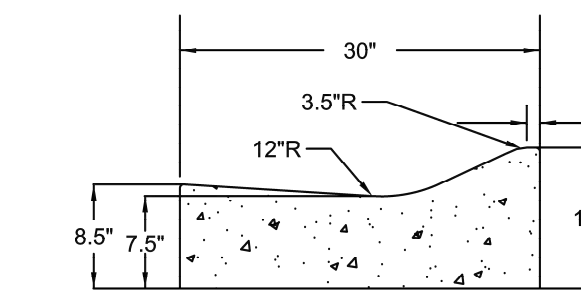
NEENAH R-4990-C CASTING, INSTALL PER MANUFACTURER SPECIFICATIONS

TRENCH DRAIN DETAIL

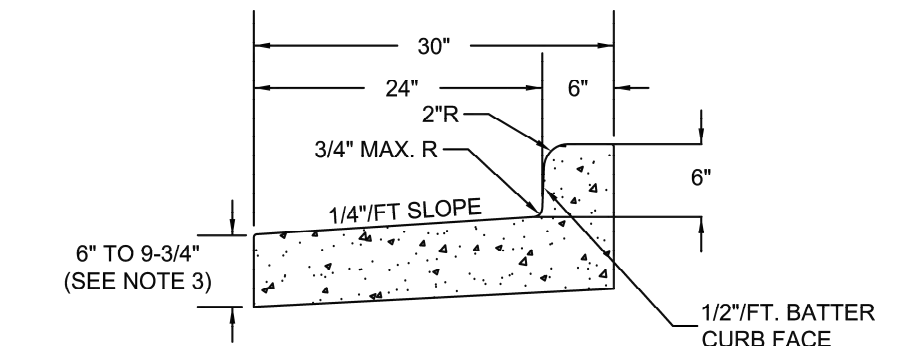
- NOTE:
- DAMAGED CURB / GUTTER SECTIONS SHALL BE REMOVED TO THE NEAREST JOINT.
 - CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO 4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
 - WHERE ADJACENT PAVEMENT SECTION CONTAINS CONCRETE THE GUTTER THICKNESS SHALL EXTEND TO THE BOTTOM OF THE ADJACENT CONCRETE PAVEMENT.



30" VERTICAL FACE CURB AND GUTTER



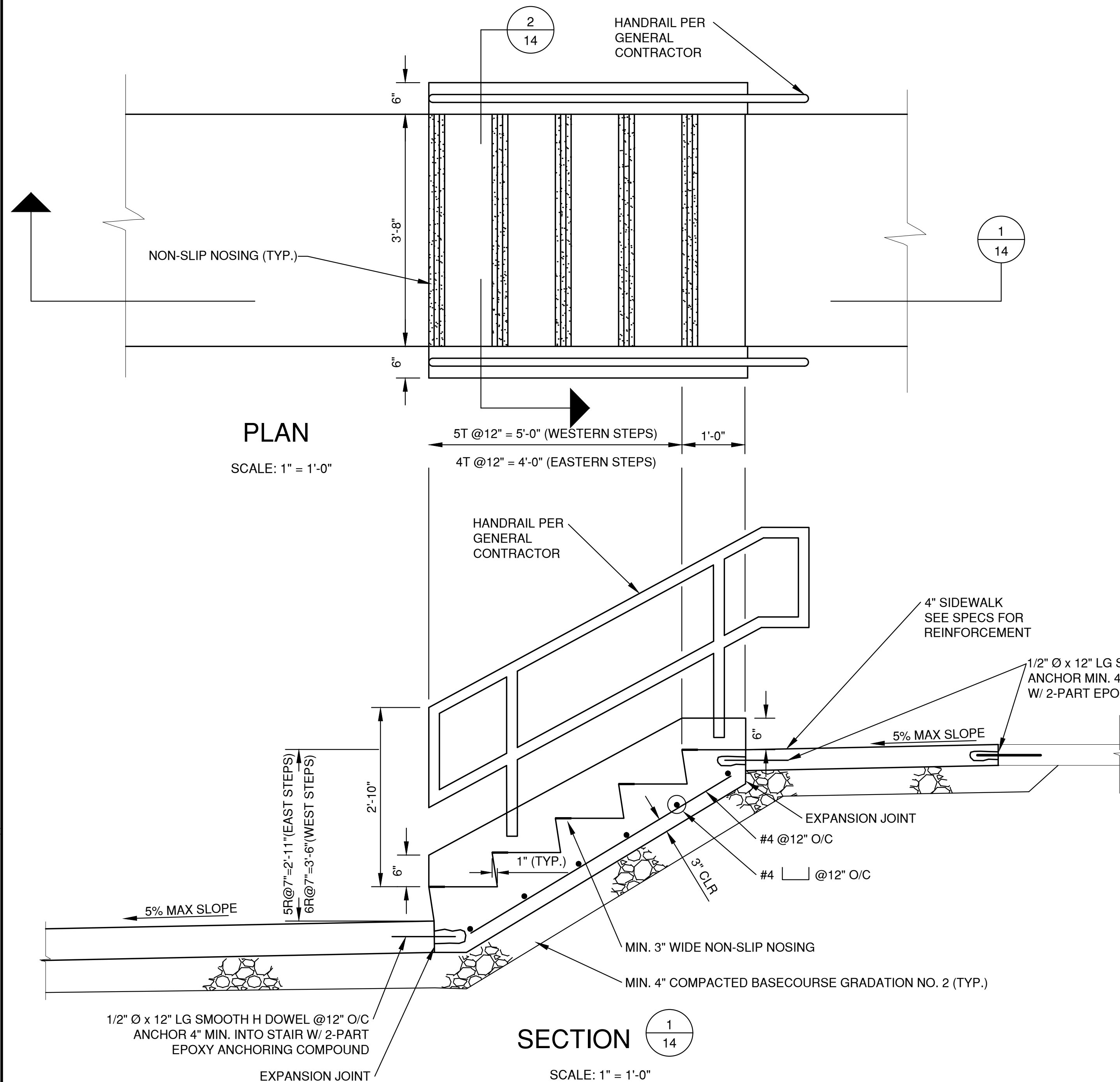
30" MOUNTABLE CURB AND GUTTER



30" VERTICAL FACE CURB AND GUTTER (REVERSE SLOPE GUTTER)

SCALE: NTS

| | | | | |
|--|--------------------------------|---------------------------|----------------|--|
| | STANDARD CURB & GUTTER DETAILS | | DETAIL: RD - 9 | |
| | CREATED: 2-7-14 | APPROVED BY: MATT FINEOUR | | |
| | REVISED: 12-1-15 | | | |



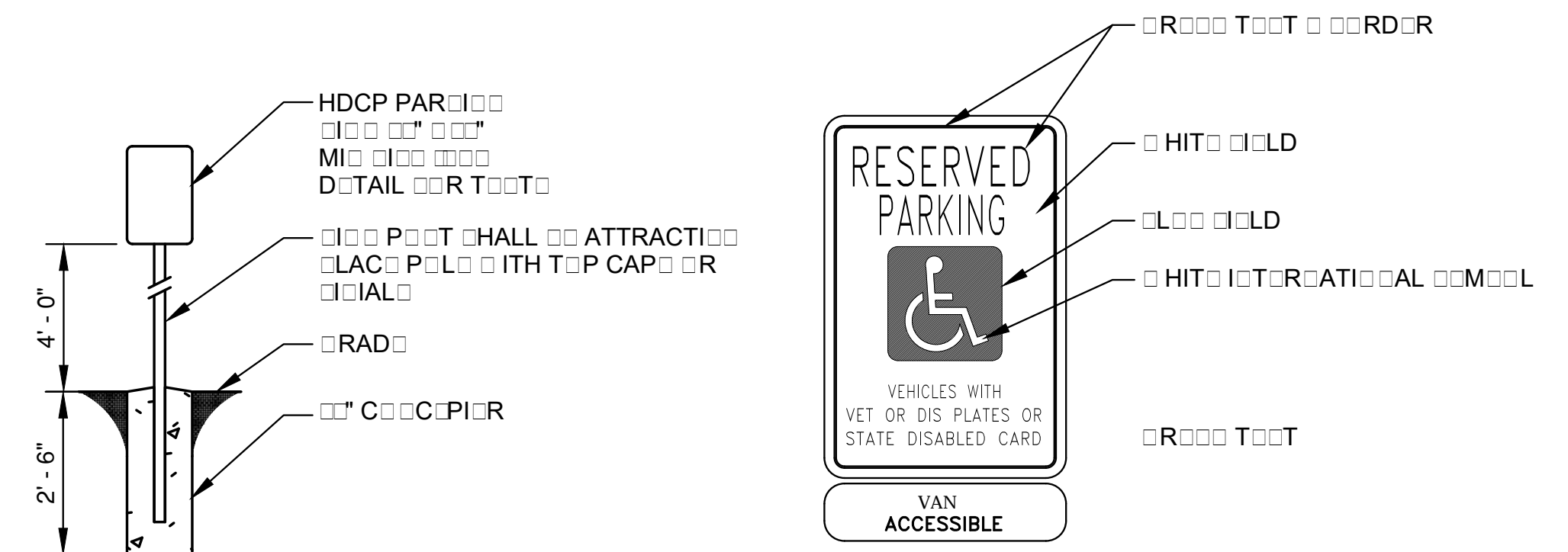
PLAN

SCALE: 1" = 1'-0"

SECTION $\frac{1}{14}$

SCALE: 1" = 1'-0"

CONCRETE STEP DETAILS



SIGN POST DETAIL

PARKING SIGN DETAIL

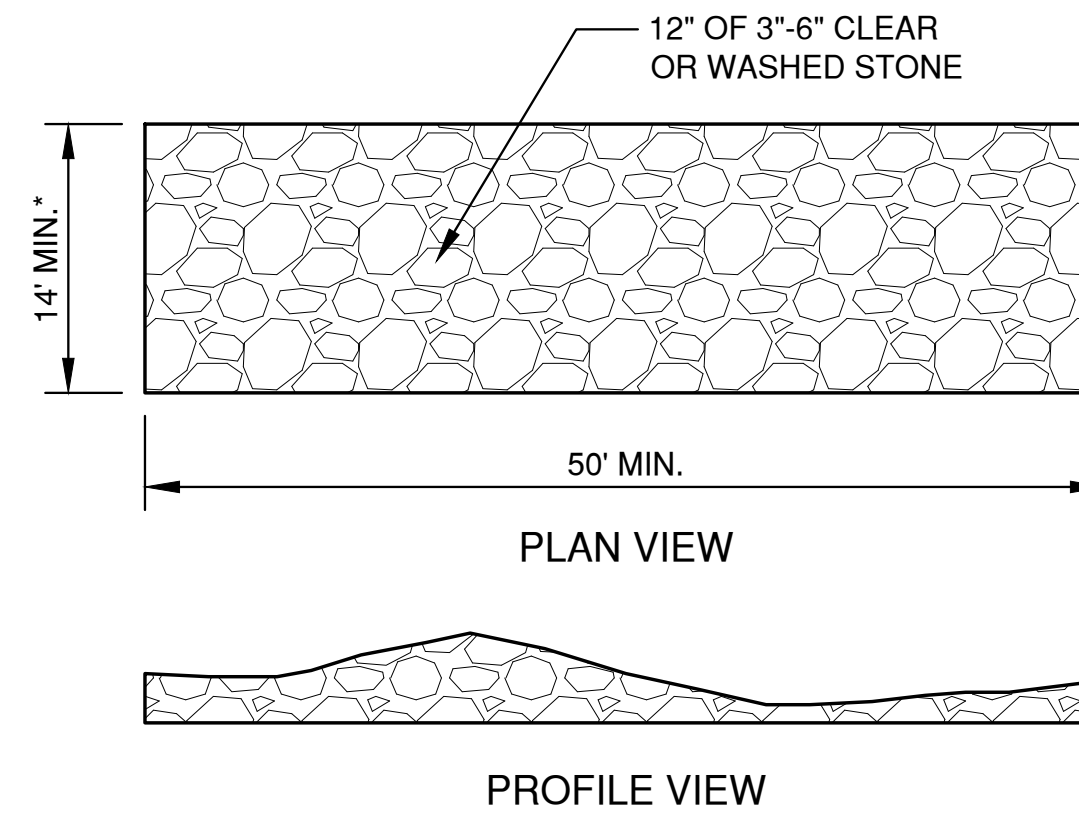
INTERNATIONAL SYMBOL OF ACCESSIBILITY

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL THE REQUIRED HANDICAPPED CARRIER OR PARALLEL CURB CUT PERMIT TO BE CONSIDERED ADMINISTRATIVE CODES.

ACCESSIBLE PARKING SIGN DETAIL

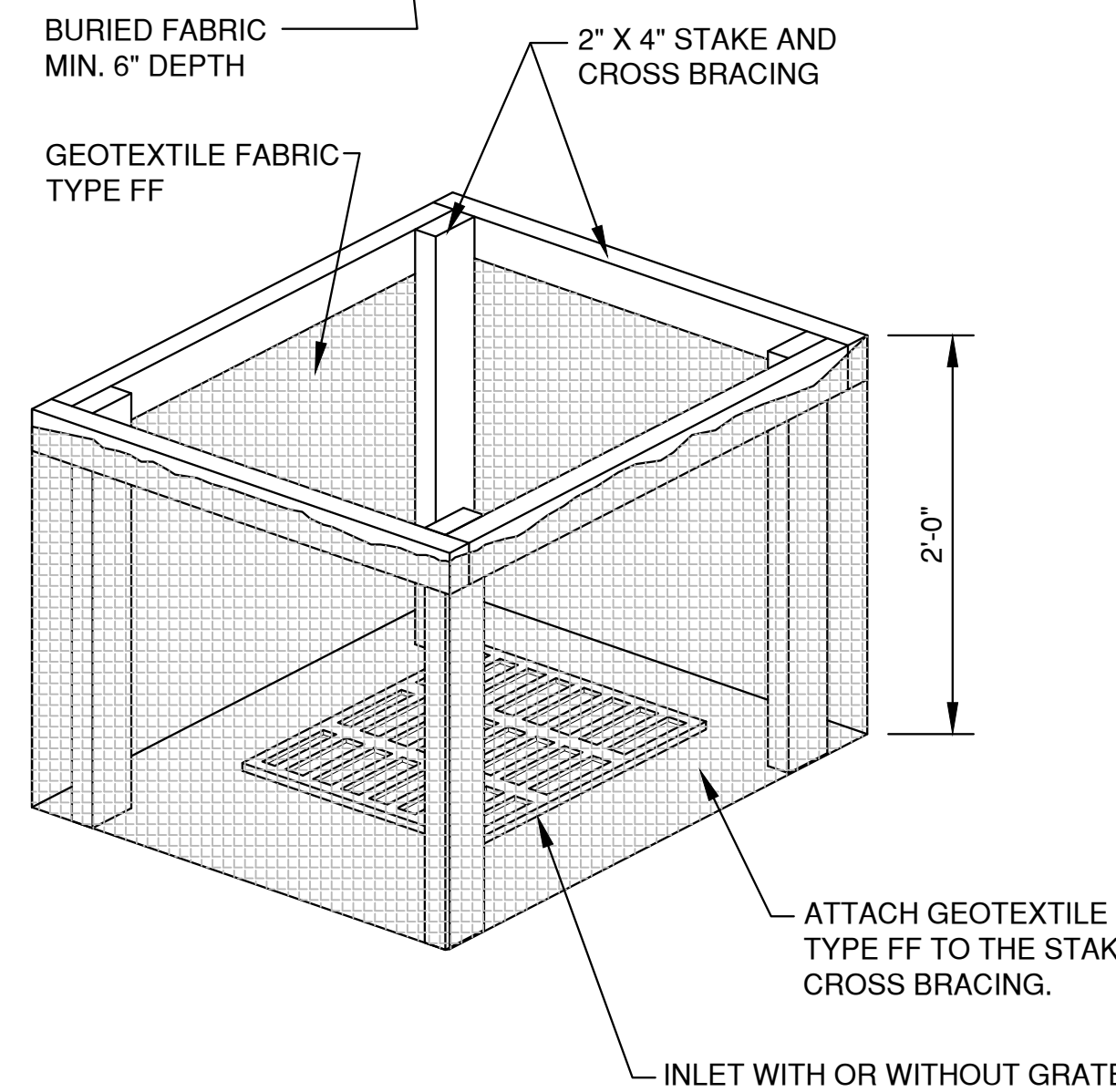
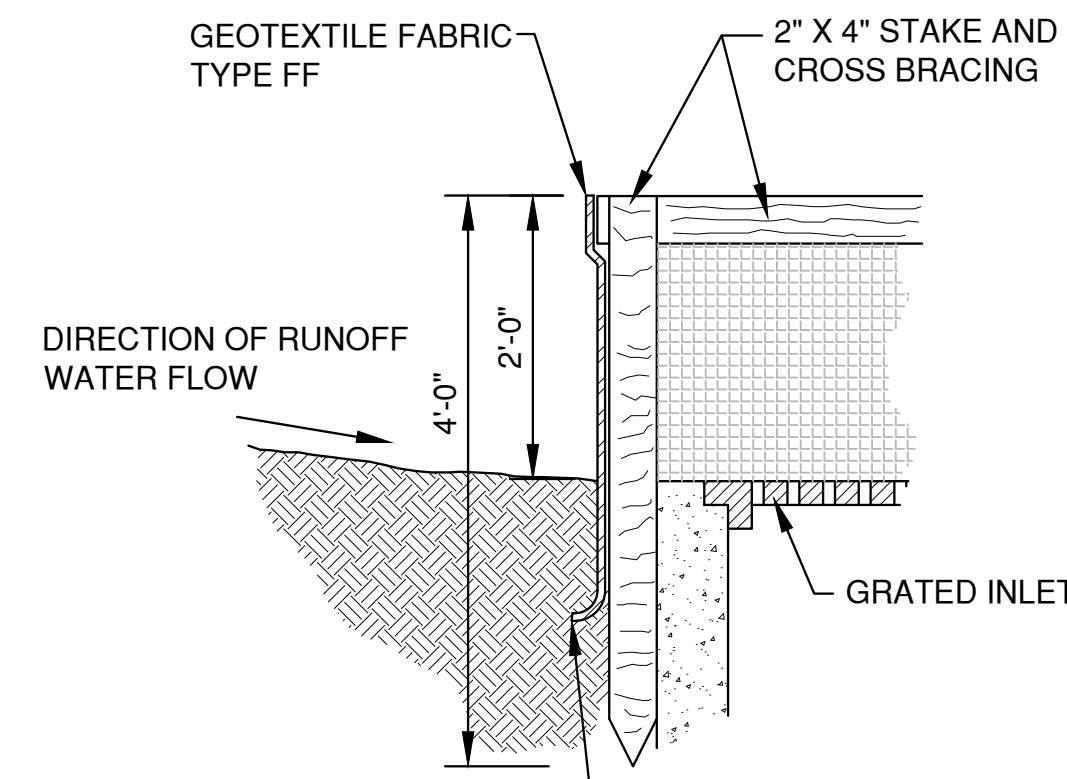
FILE: P:\A\2016\1230\12302016.dwg
 PLOT DATE: Jun 16, 2016 10:23:09
 LAYOUT: DETAILS.G

| | | | | | | | | | | | | | |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|---------|--|-----------------------|---------|--|-----------|
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN | SKYLINE TOWERS A DEVELOPMENT BY LEXINGTON HOMES VILLAGE OF PLEASANT PRAIRIE KENOSHA COUNTY, WISCONSIN | MISCELLANEOUS DETAILS | DATE | Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence | SHEET NO. |
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHECKED | | | 03/2016 | | 9 |
| 2 | 05/23/2016 | AJB | SITE PLAN REVIEW COMMENTS | | | | | JGS | | | FILE | | |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | AJB | | | DETAILS | | |

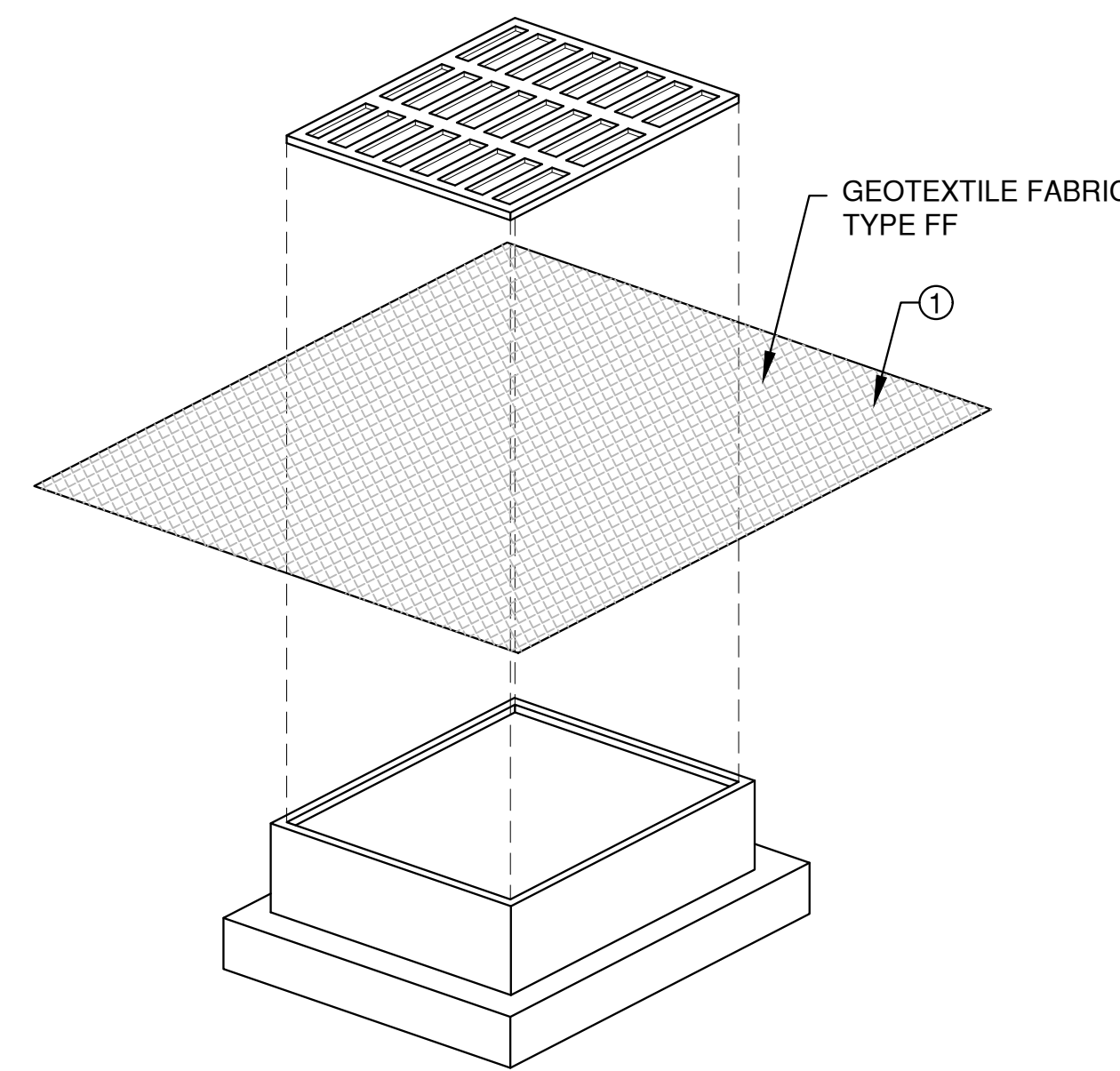


*14' MIN. OR FULL WIDTH OF THE EGRESS POINT.
REFERENCE WDNR TECHNICAL STANDARD 1057.

TRACKING PAD DETAIL
(IF APPLICABLE)

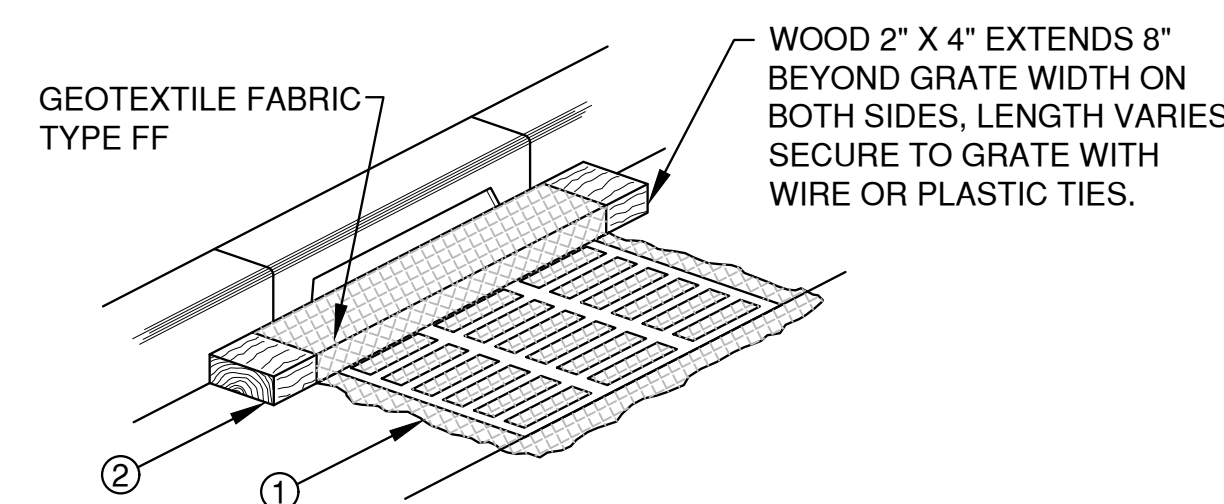


INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)

INLET PROTECTION NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".

INSTALLATION NOTES:
TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

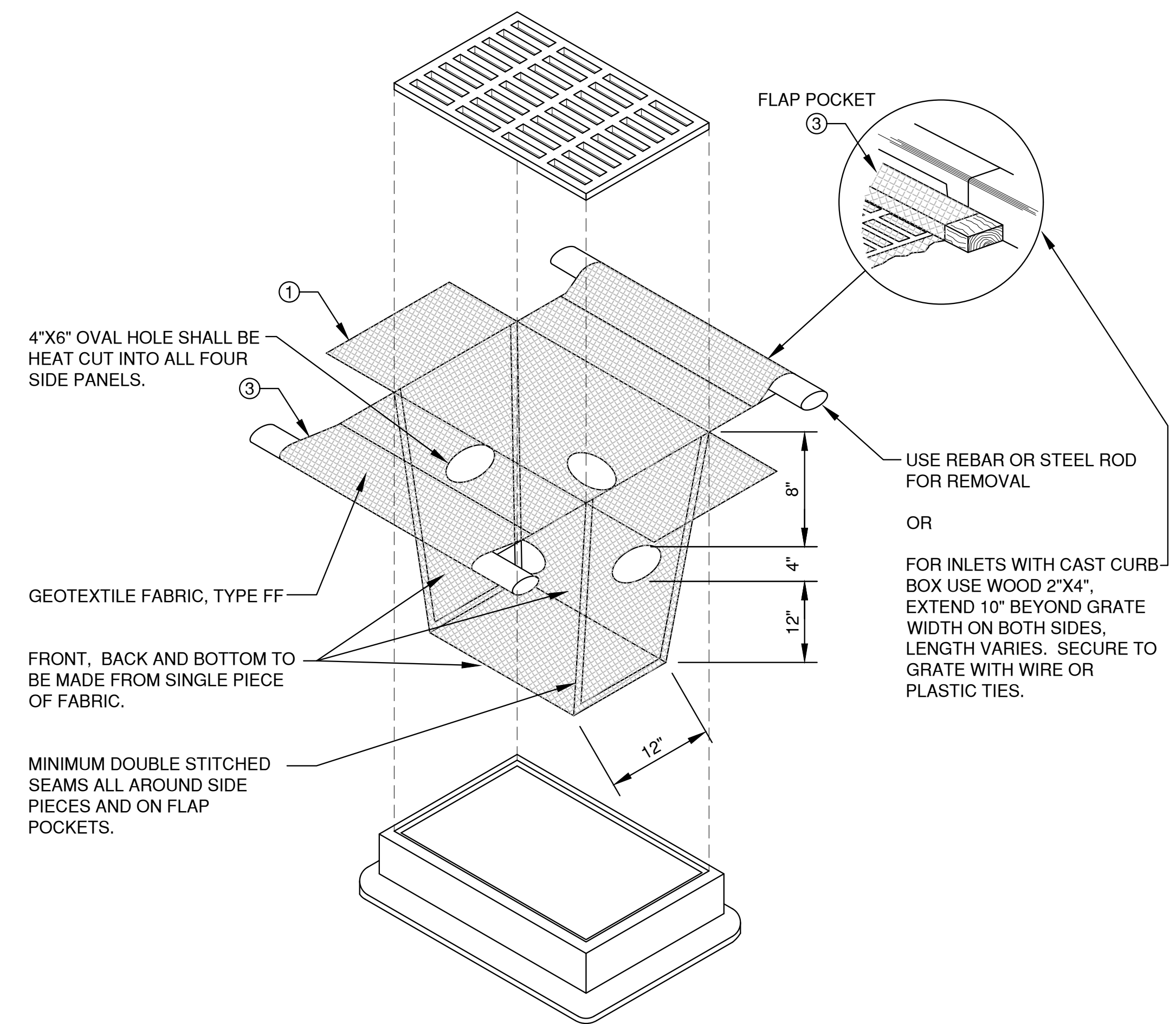
DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT CURB BOX AS PER NOTE "2")

FILE: P:\A\2016\1329\13292016.dwg REGION: CONTROL.dwg
PROJ: 1329 - JUN 2016 - 2:34pm
LAYOUT: INLET PROTECTION

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
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| | | | | | | | | AJB |

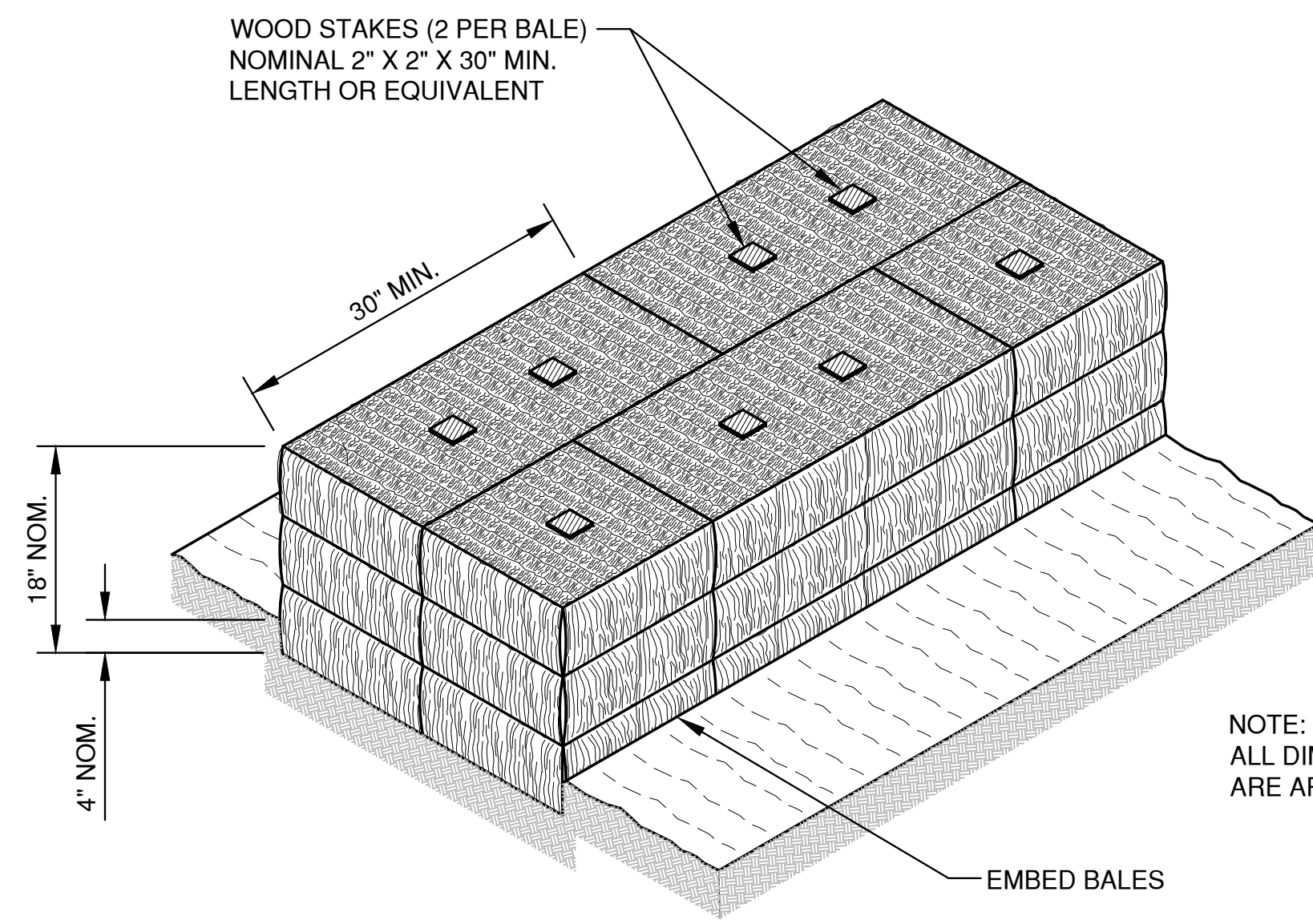
SKYLINE TOWERS
A DEVELOPMENT BY LEXINGTON HOMES
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

EROSION CONTROL
INLET PROTECTION AND
MISCELLANEOUS DETAILS

| | |
|---------|-----------------|
| DATE | 03/2016 |
| FILE | EROSION CONTROL |
| JOB NO. | 4329079 |

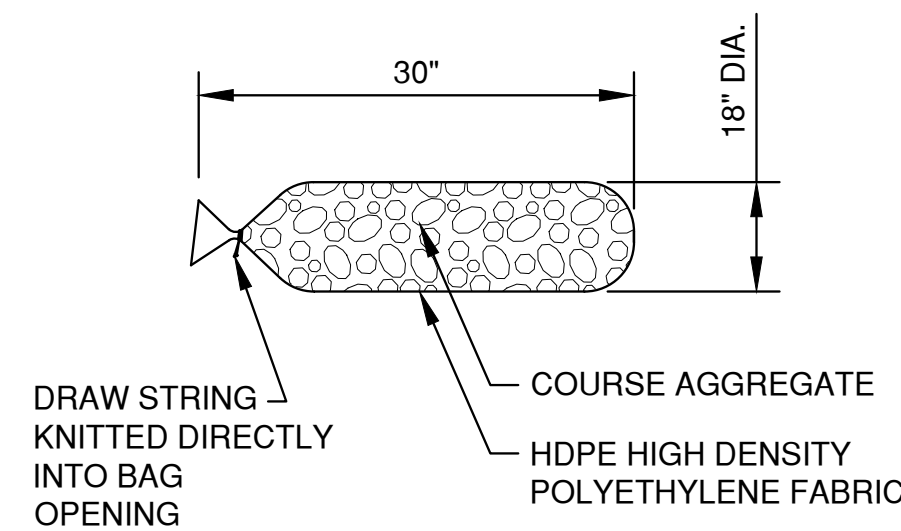


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SECTION A-A

NOTE:
ALL DIMENSIONS
ARE APPROXIMATE



FILTER BAG DETAIL

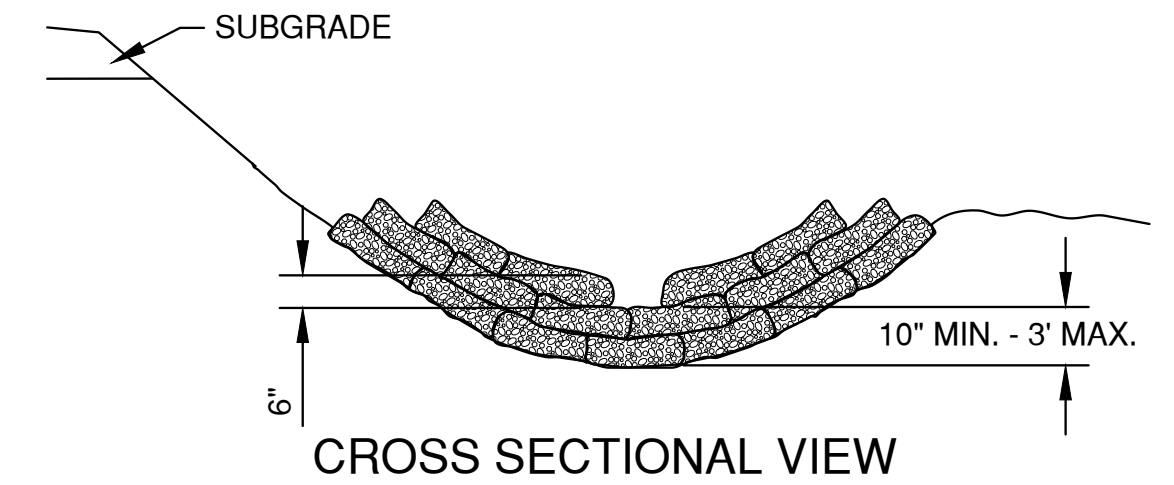
COURSE AGGREGATE INFORMATION

| SIEVE SIZE | SIZE NO. | AASHTO No. 67 (1) |
|---------------------|----------|-------------------|
| 2 INCH (50 mm) | - | - |
| 1 1/2 INCH (37.5mm) | - | - |
| 1 INCH (25.0 mm) | 100 | - |
| 3/4 INCH (19.0mm) | 90-100 | - |
| 3/8 INCH (9.5mm) | 20-55 | - |
| No. 4 (4.75mm) | 0-10 | - |
| No. 8 (2.36mm) | 0-5 | - |

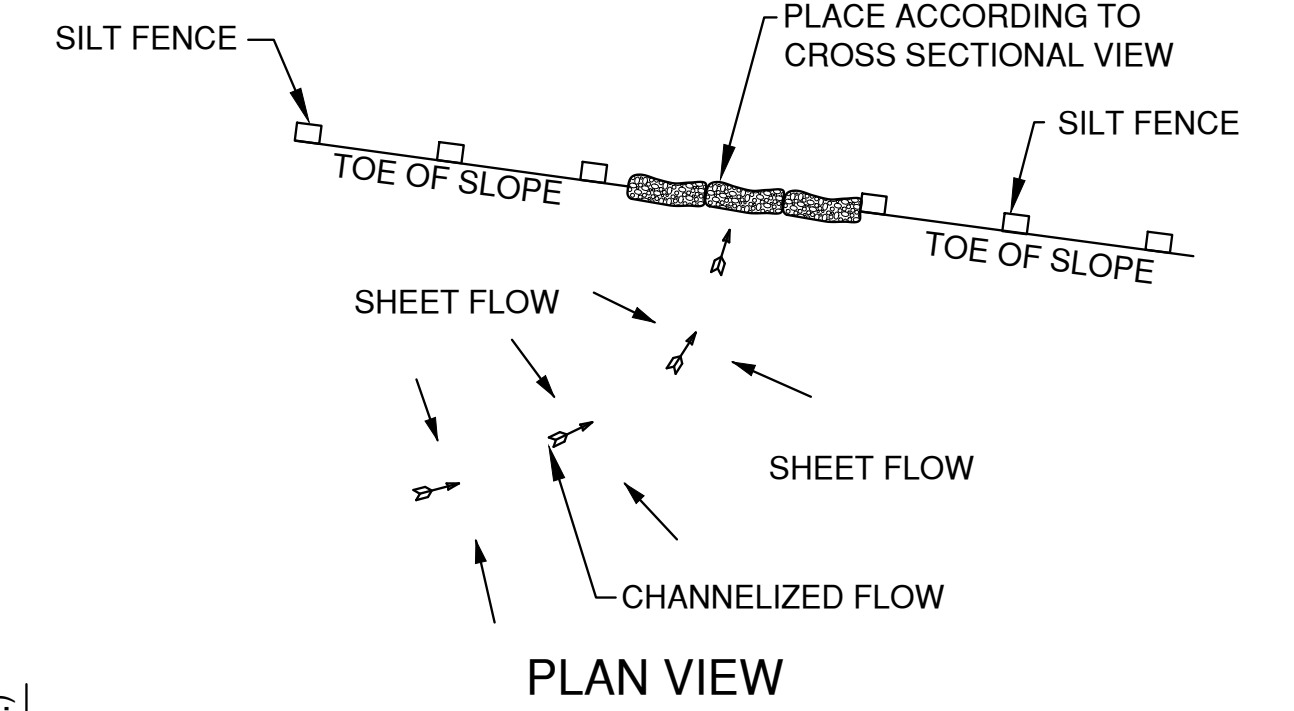
(1) SIZE No. ACCORDING TO AASHTO M 43

NOTES:

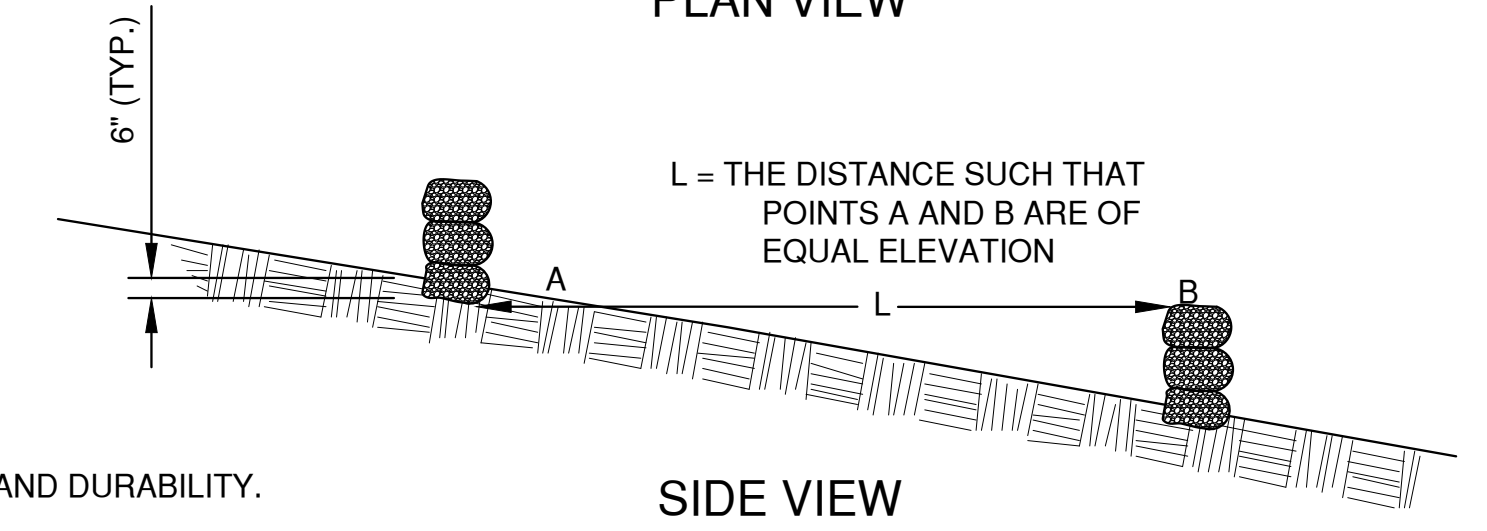
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
 HDPE HIGH DENSITY POLYETHYLENE
 HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.
 80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"
 ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.
- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS



CROSS SECTIONAL VIEW

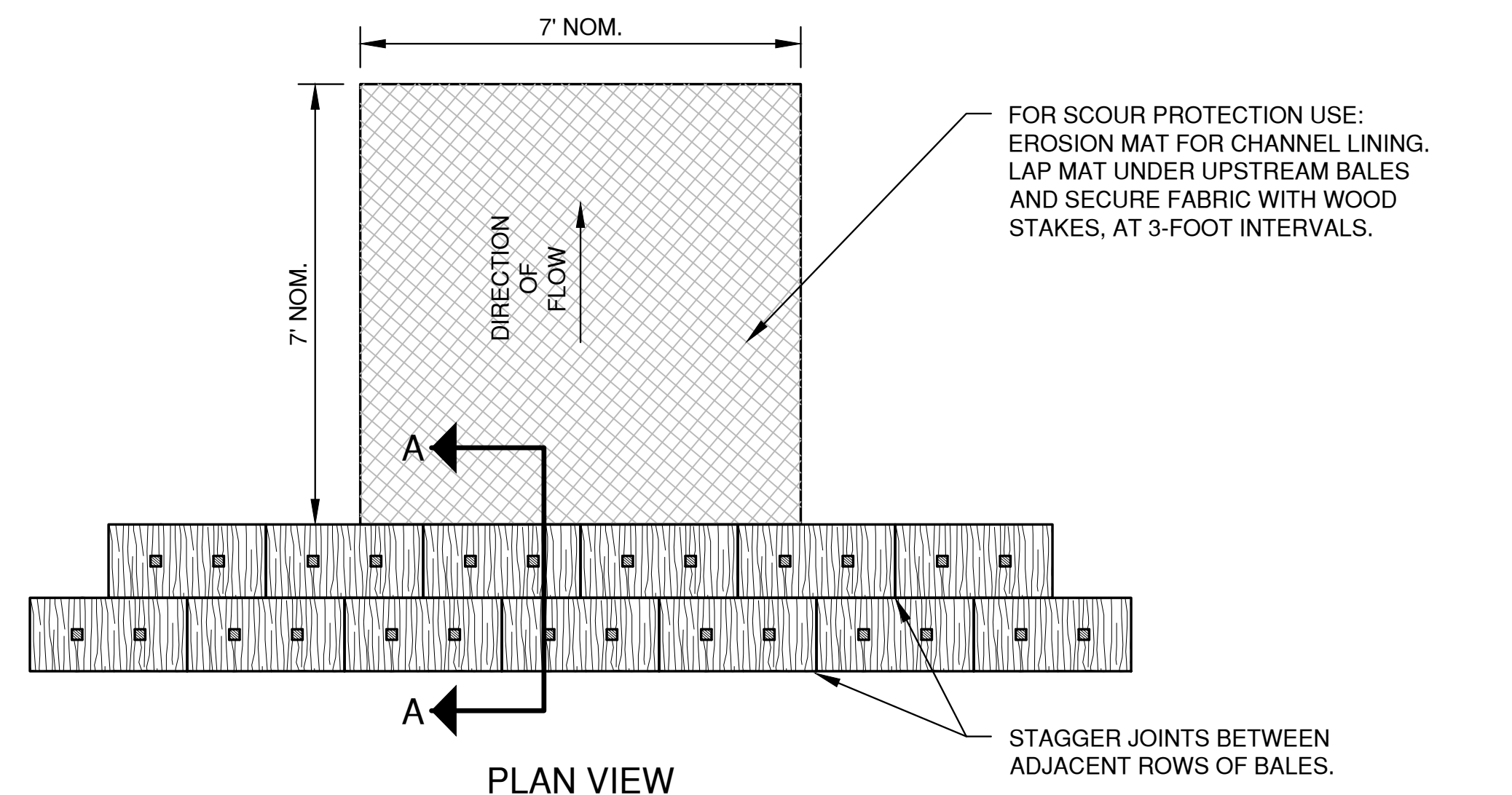


PLAN VIEW



SIDE VIEW

DITCH CHECK DETAIL

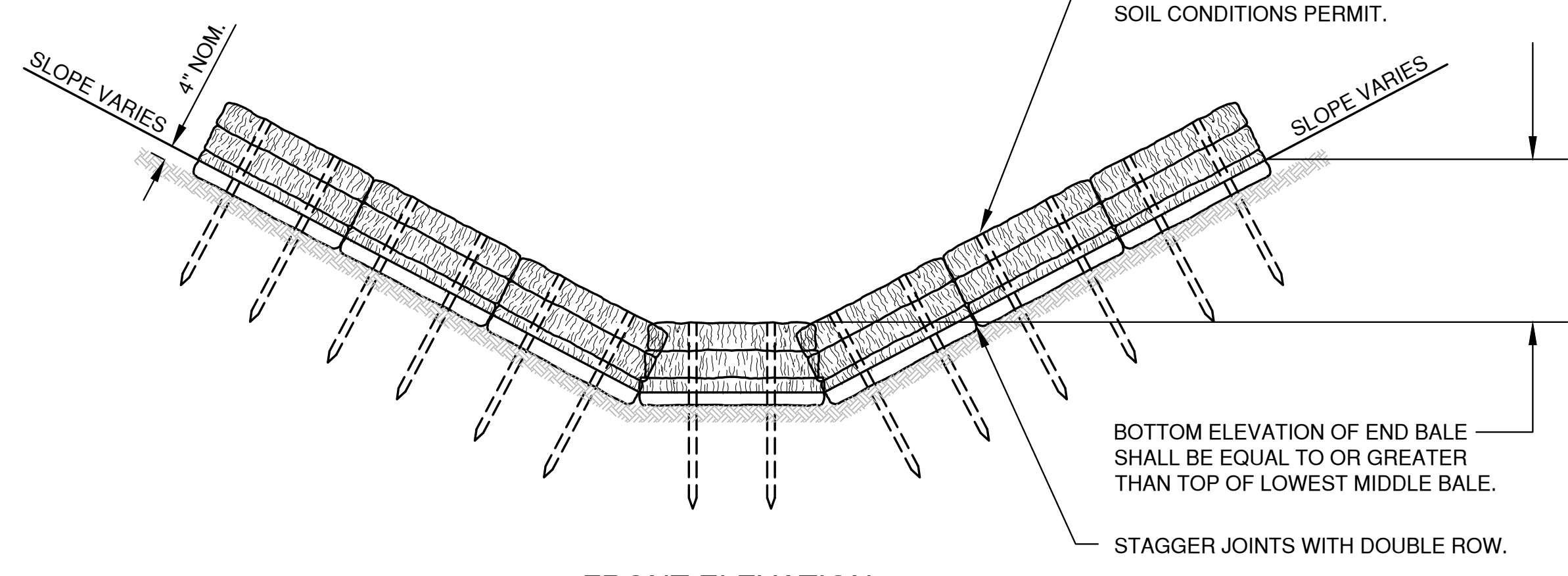


PLAN VIEW

FOR SCOUR PROTECTION USE:
EROSION MAT FOR CHANNEL LINING.
LAP MAT UNDER UPSTREAM BALES
AND SECURE FABRIC WITH WOOD
STAKES, AT 3-FOOT INTERVALS.

STAGGER JOINTS BETWEEN
ADJACENT ROWS OF BALES.

STAKES DRIVEN FLUSH WHEN
SOIL CONDITIONS PERMIT.



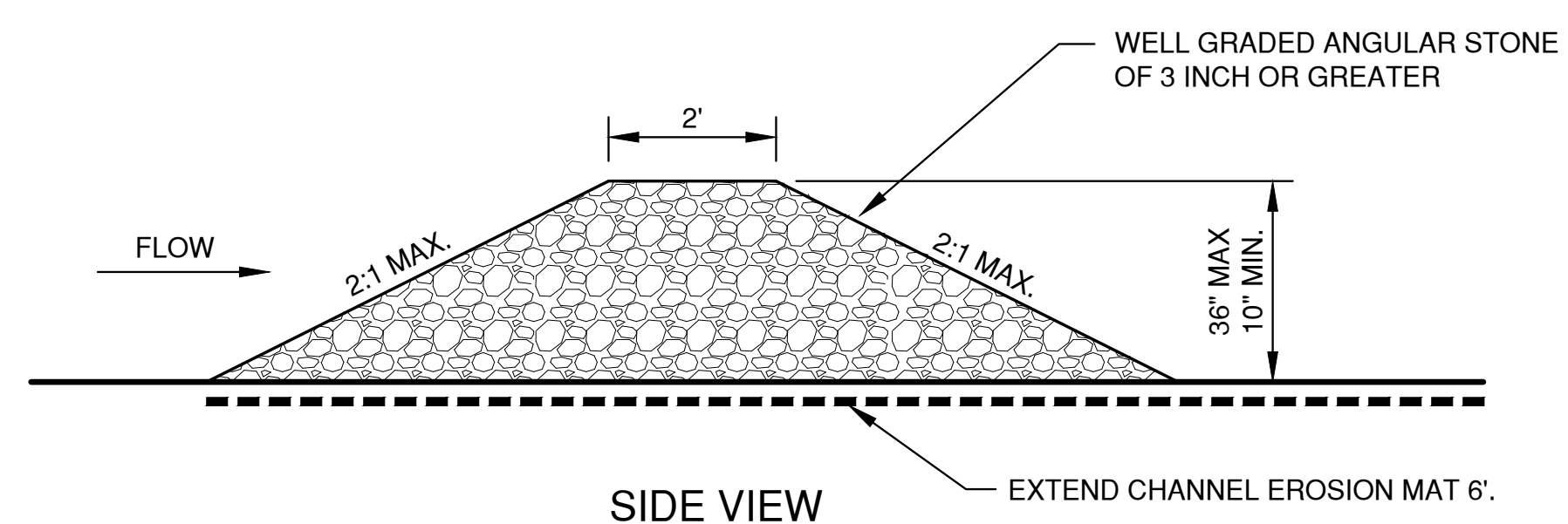
FRONT ELEVATION

BOTTOM ELEVATION OF END BALE
SHALL BE EQUAL TO OR GREATER
THAN TOP OF LOWEST MIDDLE BALE.

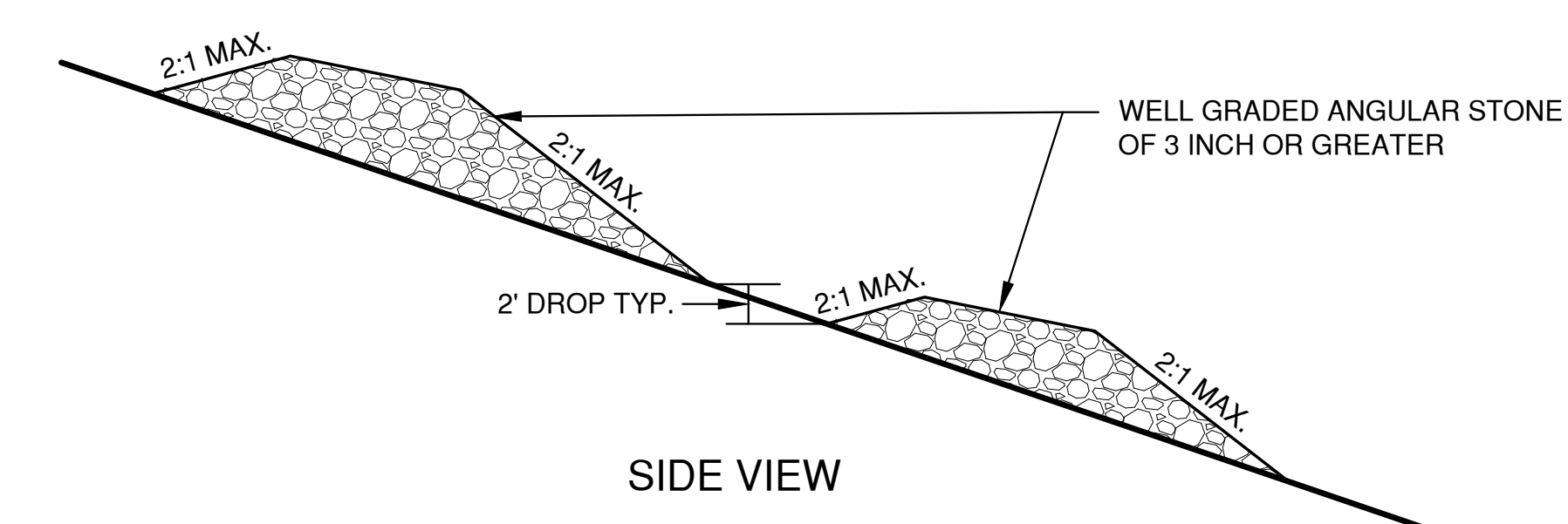
STAGGER JOINTS WITH DOUBLE ROW.

TEMPORARY DITCH CHECK USING EROSION BALES
TYPE A

ROCK FILLED EROSION CONTROL BAGS
TYPE B



SIDE VIEW



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE
TYPE C

FILE: P:\A\1001\1250\1250209\464\EROSION CONTROL.dwg
PROJ: 1250 - Jan 18, 2016 - 2:30pm
LAYOUT: DITCH CHECKS
DRAWN: AJB

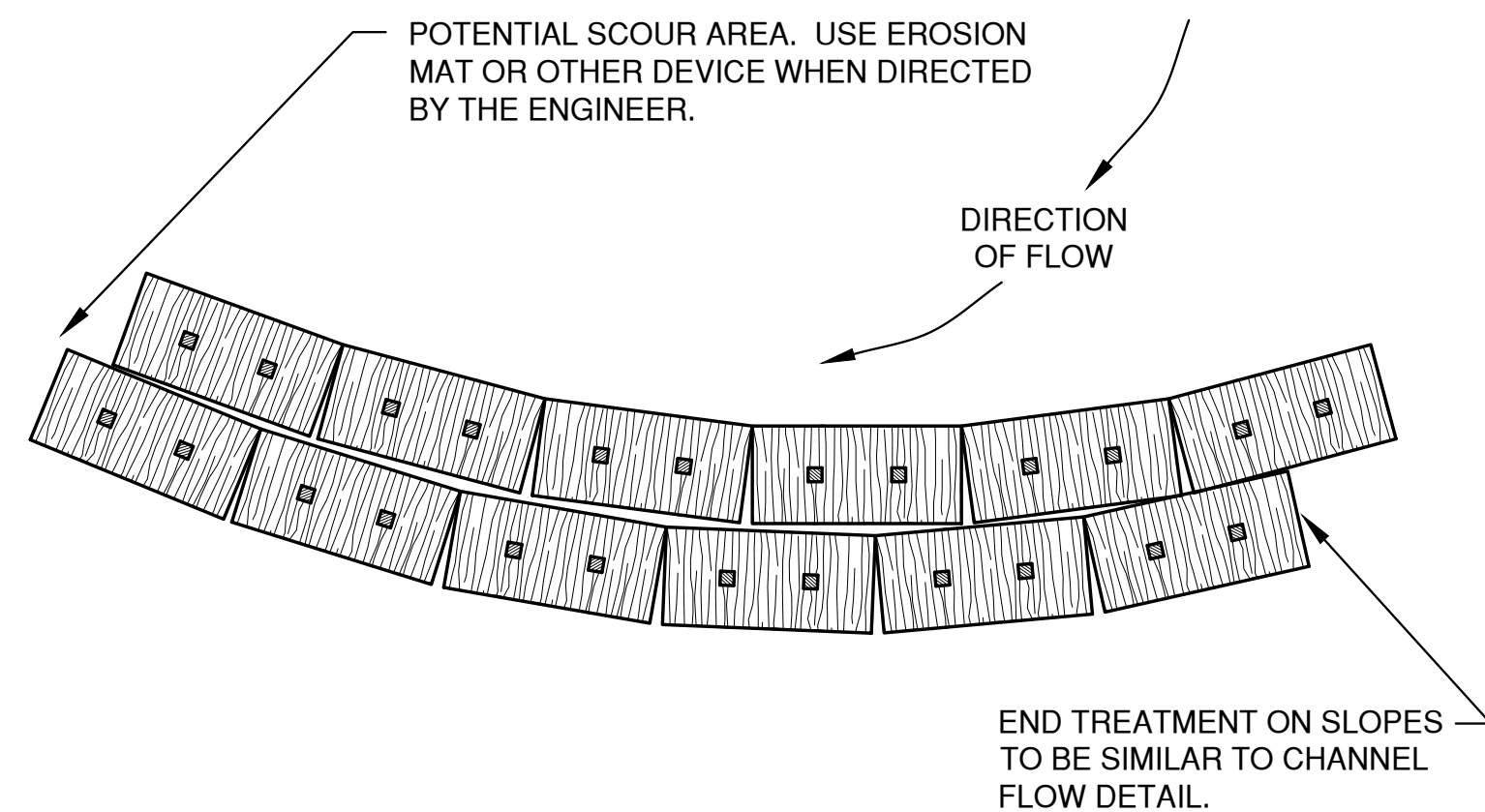
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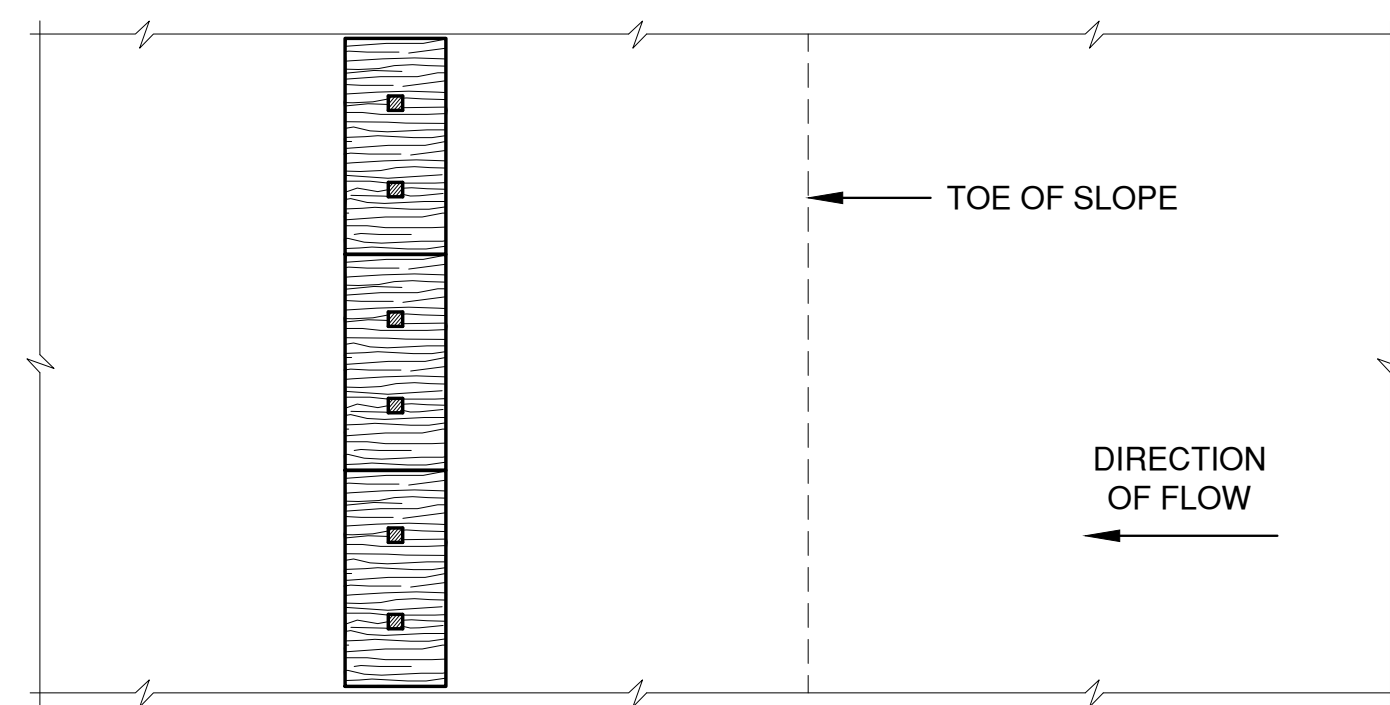
EROSION CONTROL
DITCH CHECK DETAILS

| | |
|---------|-----------------|
| DATE | 03/2016 |
| FILE | EROSION CONTROL |
| JOB NO. | 4329079 |

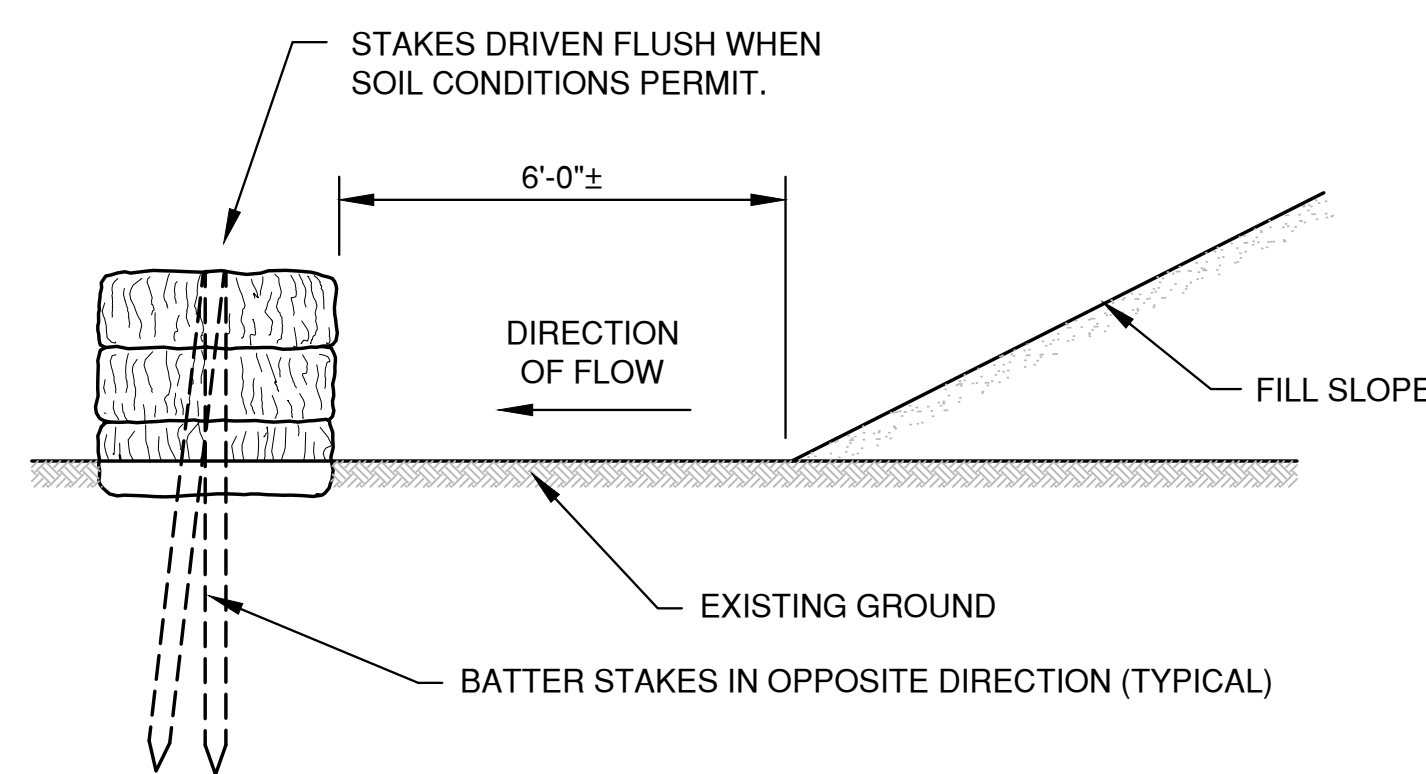
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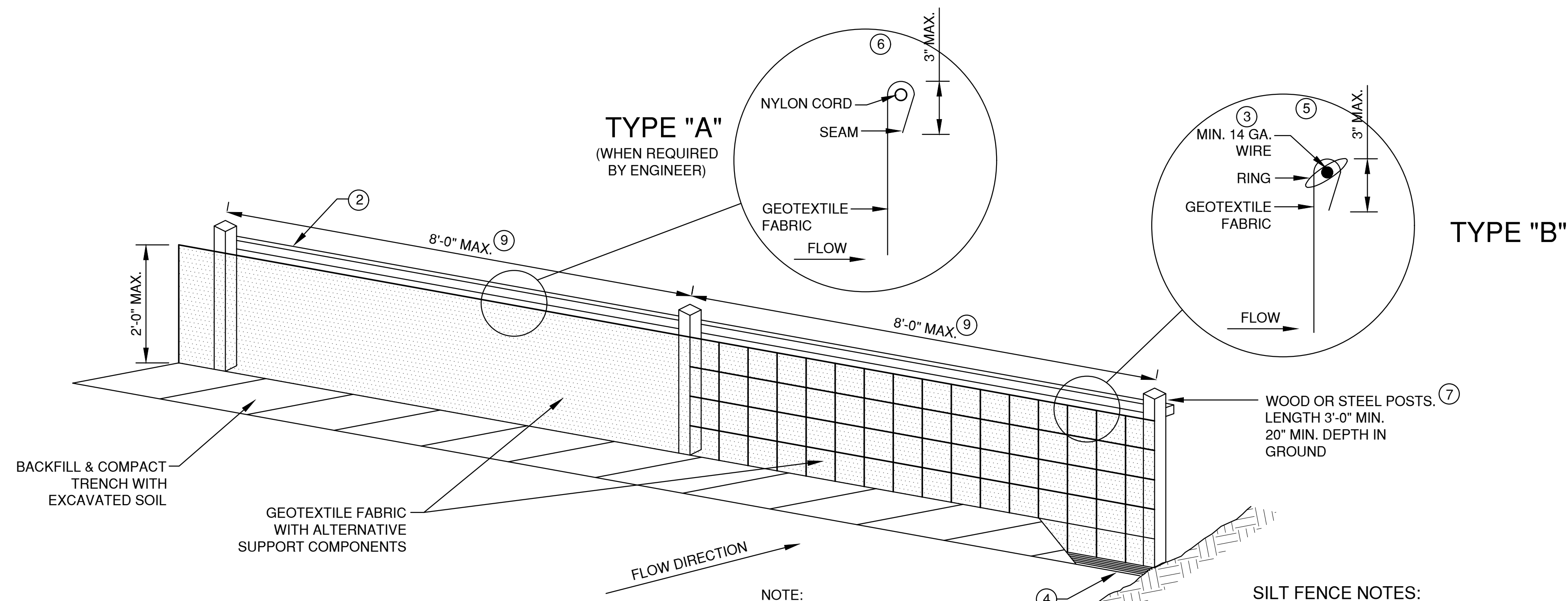
PLAN VIEW
(WHEN ALTERING THE DIRECTION OF FLOW)



PLAN VIEW

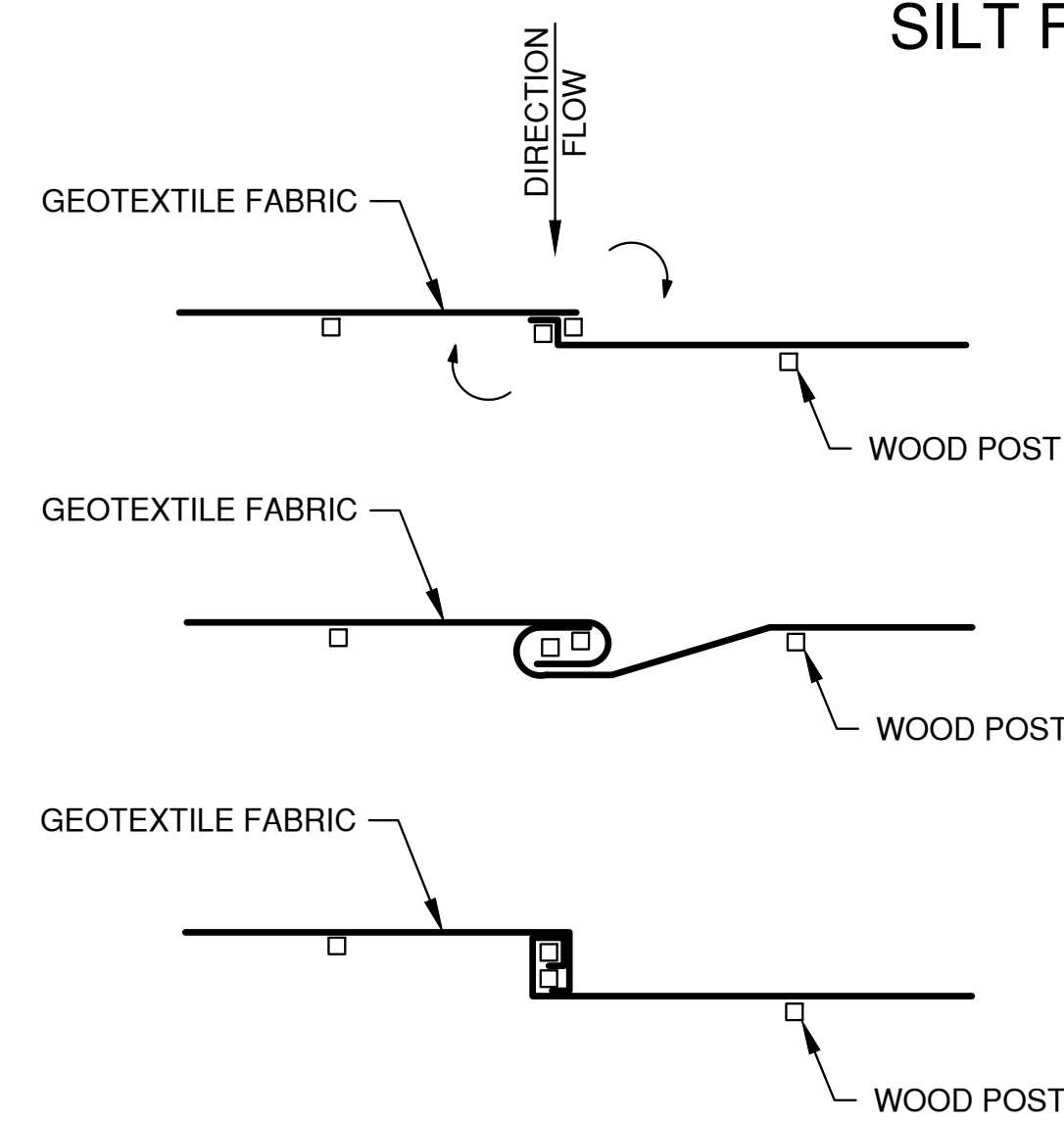


FRONT ELEVATION
WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE
EROSION BALES FOR SHEET FLOW

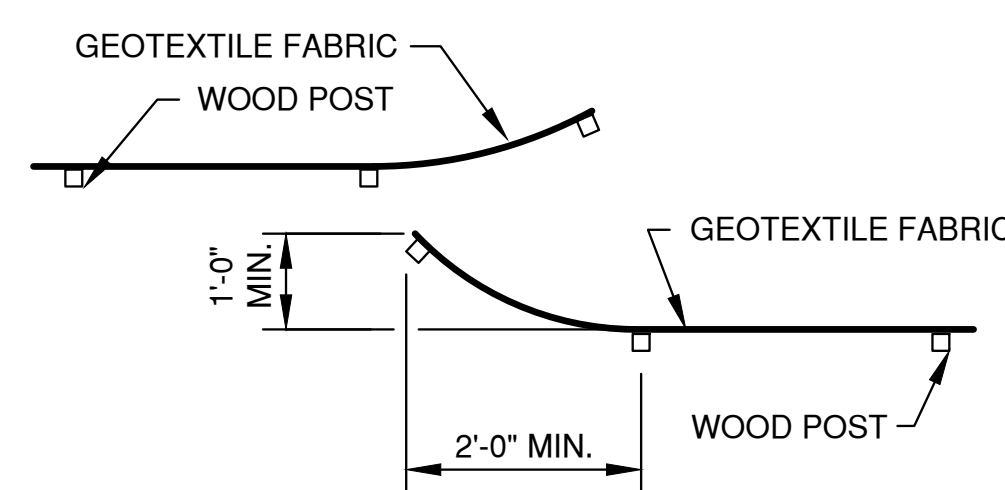


SILT FENCE DETAIL

NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

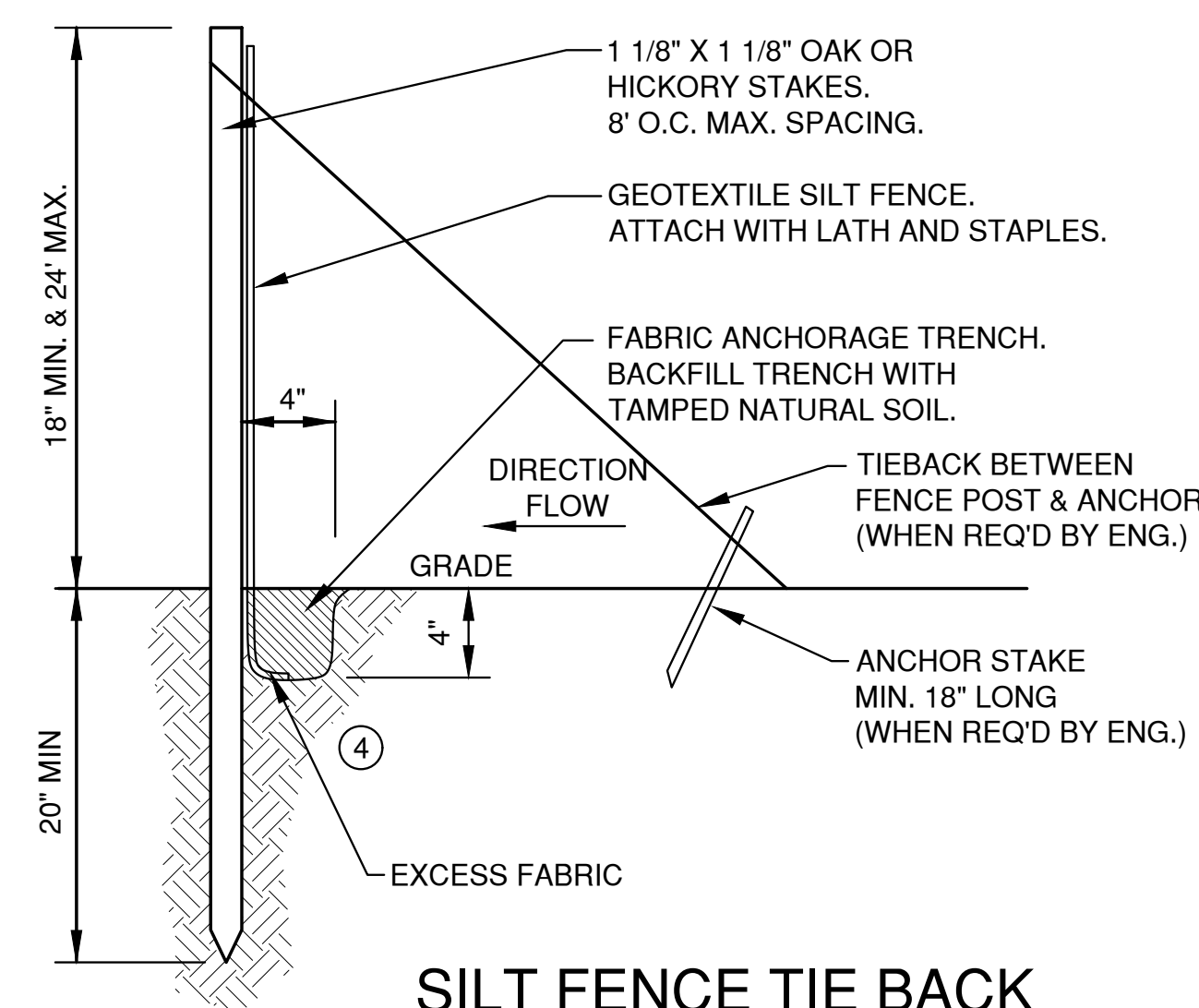


TWIST METHOD (8)



HOOK METHOD (8)

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK

SILT FENCE NOTES:

- 1 EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD.
- 2 CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- 3 MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- 4 EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- 5 WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- 6 GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- 7 STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LIN. FT. (WITHOUT ANCHOR) FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- 8 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- 9 THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDING OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE DNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS, LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE PER WEEK AND BEFORE ALL IMMINENT RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.

SHEET FLOW
LAYOUT
DATE: 03/2016
FILE: EROSION CONTROL.dwg
JOB NO.: 4229079

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
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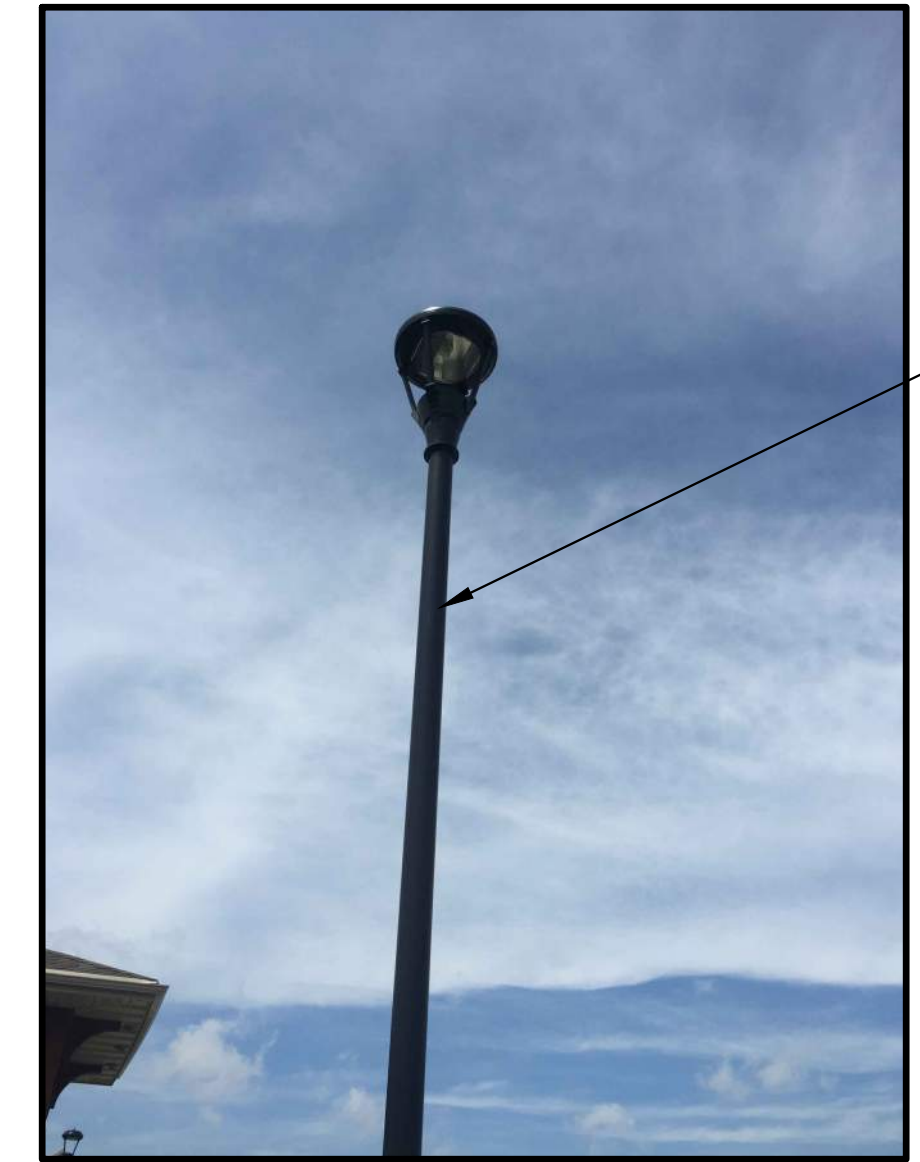
EROSION CONTROL
SHEET FLOW DETAILS

| | |
|---------|-----------------|
| DATE | 03/2016 |
| FILE | EROSION CONTROL |
| JOB NO. | 4229079 |



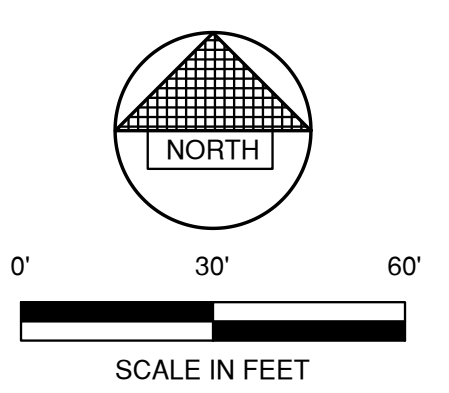
Robert E. Lee & Associates, Inc.
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SHEET NO.
12



LIGHT POLE DETAILS

| Pleasant Prairie (A040716) LUMINAIRE SCHEDULE | | | | | | | |
|---|--------|--|-----------|--------|---------------------------|------|-----|
| TYP | SYMBOL | DESCRIPTION | LAMP | LUMENS | MOUNTING/BALLAST | LLF | QTY |
| OA | ▲ | LSI INDUSTRIES, Lexington LED (1) "A" XLXM3-PT-3-LED-HO-NW-UE | (1) | 8700 | 16" RSA Pole Conc Pour | 1.00 | 4 |
| OD | ● | LSI INDUSTRIES, LED downlite (1) "D" 206V-I-LED-1-100-SP10 | (1) 17992 | 1500 | | 1.00 | 3 |
| OW | ■ | LSI INDUSTRIES, SWS14 (1) "W" SWS-2-LED-CW-UE | (1) | 1361 | | 1.00 | 5 |



File: P:\A\2016\1230\1230270.dwg Lighting - RAL.dwg
 Plot Date: Jun 28, 2016 9:23:07am

LAYOUT

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHECKED |
| 2 | 04/20/2016 | AJB | SITE PLAN SUBMITTAL | | | | | JGS |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
A DEVELOPMENT BY LEXINGTON HOMES
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

LIGHTING PLAN

| | |
|---------|---------------|
| DATE | 03/2016 |
| FILE | LIGHTING PLAN |
| JOB NO. | 4329079 |

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SHEET NO.
E1

Proposed New 60 unit Apartment Homes With Lower Level Parking

EXHIBIT 2

LEXINGTON HOMES

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| T1.2 | UL LISTINGS AND REFERENCE MATERIAL |
| T2.1 | LIFE SAFETY PLANS |
| T2.2 | LIFE SAFETY PLANS |
| G1 | SITE PLAN |
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| A1.3 | ELEVATIONS |
| A1.4 | COURTYARD ELEVATIONS AND SIGN |
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| S2.11 | STRUCTURAL - PARTIAL ROOF FRAMING |
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| S5.1 | STRUCTURAL - SHEAR WALLS |
| S5.2 | STRUCTURAL - SHEAR WALLS |

| BUILDING CODE INFORMATION 2009 IBC (WISCONSIN) | | | | |
|--|---|----------------------------------|---|--|
| CODE CHAPTER | CODE TITLE | CODE CHAPTER | CODE INFORMATION | |
| 3 | USE AND OCCUPANCY | 310.1 | R-2 RESIDENTIAL, FIRST FLOOR THROUGH FOURTH FLOOR - 9-2 STORAGE LOWER LEVEL | |
| 4 | PARKING GARAGES | 406.2 | ENCLOSED PARKING GARAGE, NOT HEATED, VENTILATED, NON-SEPARATED OCCUPANCIES, 508.3 | |
| 5 | ALLOWABLE AREA SPRINKLER INCREASE BUILDING AREA MODIFICATIONS | 503 | TYPE VA, 3 STORIES AND 12,000 S.F. PER FLOOR, 50' HEIGHT FOR R-2 UP TO 60' HEIGHT AND 4 STORIES - 50'-2" ACTUAL AREA INCREASE DUE TO FRONTAGES USED (30' SIDES) (30' FRONT AND BACK) AND SPRINKLER INCREASE = 45,000 S.F. PER FLOOR ALLOWABLE - 26,810 ACTUAL MAX. S.F. | |
| | | 508.3 509.4 | PARKING GARAGE 1 HOUR SEPARATION WITH AUTOMATIC SPRINKLER SYSTEM ALLOWABLE FLOORS MEASURED FROM ABOVE THE PARKING GARAGE | |
| 6 | CONSTRUCTION TYPE | 601 | VA WOOD FRAME PROTECTED, 1 HOUR RATING AT ALL BEARING WALLS, PRIMARY STRUCTURAL FRAME, FLOOR CONSTRUCTION AND ATTIC CEILING. SEE 105 FOR EXTERIOR WALLS, IN THE PARKING GARAGE EXPOSED WOOD CONSTRUCTION ALLOWED, NO RATING IS REQUIRED IN NON-BEARING INTERIOR PARTITIONS | |
| | SEPARATION DISTANCE | 602 | ALL EXTERIOR WALLS MORE THAN 10' FROM IMAGINARY PROPERTY LINES | |
| 7 | RATED CONSTRUCTION | 704.2 & 704.3 | COLUMN AND BEAM PROTECTION OF PRIMARY STRUCTURAL FRAME, INDIVIDUAL ENCASEMENT WHEN SUPPORTING OVER TWO FLOORS OR ONE FLOOR AND ROOF LOAD. | |
| | FIRE BARRIERS | 705.5 706.5 | FIRE RESISTANCE RATING OF EXTERIOR WALLS RATED FOR EXPOSURE FROM INSIDE FIRE WALL, HORIZONTAL CONTINUITY INCLUDES EXHAUST DUCTS, DO NOT PLACE DUCT WITHIN 4'-0" OF A FIRE SEPARATION WALL. VERTICAL CONTINUITY INCLUDES RIDGE VENTS, DO NOT PLACE DUCT WITHIN 4'-0" OF A FIRE SEPARATION WALL. | |
| | SHAFT ENCLOSURES | 707 708.1 708.4 708.12 | FIRE BARRIERS REQUIRED AT EXIT ENCLOSURE, SEE 1022 SHAFT ENCLOSURES CONNECTING FOUR OR MORE STORIES SHALL BE 2 HOUR RATED ELEVATOR HOISTWAY SHALL BE CONSTRUCTED AS A SHAFT ENCLOSURE ENCLOSURE AT THE TOP REQUIRED IF SHAFT DOES NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING | |
| | ELEVATORS AND HOISTWAYS | 708.14 708.14.1 708.14.1.1 | ELEVATOR LOBBY REQUIRED, CAN NOT CONNECT MORE THAN 3 STORIES, RATED FIRE PARTITION WALLS NO AREA OF REFUGE REQUIRED - PER SECTION 1007 | |
| | FIRE PARTITIONS CONTINUITY | 709 | 1/2 HOUR FIRE PARTITION AT CORRIDORS (NON-BEARING WALL) (1018.1) 1 HOUR FIRE PARTITIONS AT DWELLING UNIT SEPARATIONS | |
| | HORIZONTAL ASSEMBLY | 712 | 1 HOUR ASSEMBLY BETWEEN UNITS AT FLOOR / CEILING | |
| | FIRE DOOR RATINGS | 715.4 | FIRE DOORS AT ELEVATOR LOBBY 20 MINUTE REQUIRED AND SMOKE AND DRAFT CONTROL. FIRE DOORS AT EXIT ENCLOSURES 40 MINUTE REQUIRED AT CORRIDOR WALLS TO DWELLING UNIT - 1/3 HOUR REQ. AT EXTERIOR WALLS NOT WITHIN OPENING PROTECTIVE DISTANCE | |
| | DRAFTSTOPPING | 716 | ENSURE DRYER EXHAUST (VENT) LENGTH IS NOT EXCEEDED, USE A 4" EXTERIOR HOOD AS NEEDED. EXHAUST FAN PENETRATION DOES NOT REQUIRE A RADIATION DAMPER NOR PLACEMENT IN A WALL CAVITY. FIRE STOP ANULAR SPACE AROUND THE FAN BOX. STAY WITHIN DWELLING UNIT AND DO NOT PLACE DUCT WITHIN 4'-0" OF A FIRE SEPARATION WALL. | |
| | | 717.3.2 (1) 717.4.2 (2) | DRAFTSTOPPING IN FLOOR CEILING SYSTEM NOT REQUIRED IN BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEM DRAFTSTOPPING IN ATTIC NOT REQUIRED IN BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEM | |
| | 8 | INTERIOR FINISHES | 803.9 | CLASS C FLAME SPREAD 75-20, CORRIDORS (SPRINKLERED) CLASS C FLAME SPREAD 75-20, ALL ROOMS (SPRINKLERED) |
| FIRE PROTECTION | | 903.2.8 & 903.2.10 903.3.1.1 | NFPA 13 IN PARKING AREA, 1 HOUR SEPARATION REQUIRED NFPA 13 SPRINKLER SYSTEM REQ. FOR ALL RESIDENTIAL FLOORS INCLUDING BALCONIES AND DECKS | |
| 9 | FIRE ALARM | 907.2.9.1 | MANUAL FIRE ALARM SYSTEM FOR ANY BUILDING WITH MORE THAN 16 UNITS OR EXCEPTION 2 | |
| | SMOKE DETECTION | 907.1.1.2 | INTERCONNECTED SMOKE DETECTORS / ALARMS REQ. / VISIBLE ALARM CAPABILITY | |
| 10 | MEANS OF EGRESS | 1004.1.1 1005 | OCCUPANT LOAD = 200 S.F. GROSS RESIDENTIAL AND 300 S.F. GROSS ACCESSORY STORAGE EGRESS WIDTH OF 2 AND 3 TOTAL LOWER STAIR WIDTH FACTOR = 26" DIVIDED BY TWO STAIRS (EACH 58") TOTAL UPPER STAIR WIDTH FACTOR = 76" DIVIDED BY TWO STAIRS (EACH 58") OTHER EGRESS COMPONENT WIDTH FACTOR LOWER = 17.2" DIVIDED BY TWO = 8.6" OTHER EGRESS COMPONENT WIDTH FACTOR FIRST FLOOR = 27" DIVIDED BY THREE = 9" OTHER EGRESS COMPONENT WIDTH FACTOR SECOND FLOOR = 51" DIVIDED BY TWO = 25.5" MEANS OF EGRESS ILLUMINATION REQ. IN CORRIDOR AND EXIT ENCLOSURE AREA OF REFUGE (STAIRS) EXCEPTION #2: CLEAR WIDTH OF 48" IS NOT REQUIRED WITH AUTOMATIC SPRINKLERS EXCEPTION #3: NOT REQUIRED IN BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLERS | |
| | EGRESS ILLUMINATION STAIRWAYS | 1006 1007.3 | AREA OF REFUGE (ELEVATOR) EXCEPTION #2: NOT REQUIRED IN BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLERS INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 | |
| | ELEVATORS | 1007.4 | EXCEPTION #2: NOT REQUIRED IN BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLERS INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 | |
| | COMMON PATH OF TRAVEL | 1014.3 1016.1 | FLOOR ELEVATION, EXCEPTION 5. EXTERIOR PATIOS, TYPE B DWELLING - IMPERVIOUS SURFACE NOT MORE THAN 4" BELOW INTERIOR FLOOR THRESHOLDS: 3/4" FOR SLIDING DOORS OR 1/2" FOR OTHER DOORS | |
| | | 1018.1 1018.4 1021 | 125' TRAVEL DISTANCE NOT EXCEEDED FROM FURTHEST POINT OF ANY UNIT (SPRINKLERED) TRAVEL OF 250' ON UNENCLOSED EXIT ACCESS INCLUDES DISTANCE DOWN THE STAIRS. 250' DISTANCE NOT EXCEEDED TO EITHER EXIT ENCLOSURE OR EXIT. | |
| | CORRIDOR FIRE RESISTANCE RATING | 1022 | RATING REQ. WITH 13 SPRINKLER SYSTEM = 1/2 HOUR, 44" MINIMUM WIDTH OR PER ABOVE. DEAD END 50' WITH SPRINKLER SYSTEM NUMBER OF EXITS: 2 PER FLOOR REQUIRED EXIT ENCLOSURE TWO HOUR RATED WHEN CONNECTING FOUR OR MORE STORIES | |
| | 11 | ACCESSIBILITY | 1104 | ACCESSIBLE ROUTE TO ALL FRONT DOORS, ALL FIRST, SECOND AND THIRD FLOOR 3/0 UNIT DOORS AND PATIO DOORS ACCESSIBLE |
| | | PARKING SPACES DWELLING UNITS | 1106.2 1107.6.2.1.1 | GROUP R-2, 2% BUT NOT LESS THAN 1 OCCUPANCIES CONTAINING MORE THAN 20 DWELLINGS, AT LEAST 2% SHALL BE A TYPE "A" UNIT. ALL UNITS ON SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS. UNITS SHALL BE DISPERSED AMONG CLASSES OF UNITS. TWO TYPE "A" UNITS ARE IN EACH OF THE 60 UNIT BUILDINGS |
| | ACCESSIBLE UNITS | 1107.6.2.1.2 1107.7.2 | ALL UNITS WITH ELEVATOR SERVICE ARE TYPE "B" ACCESSIBLE. IN MULTISTORY UNITS, THE FIRST FLOOR IS TYPE "B" ACCESSIBLE. | |
| | 12 | INTERIOR ENVIRONMENT | 1203 | NATURAL VENTILATION = 4% OF FLOOR SPACE INCLUDING ADJOINING SPACES |
| 1207.2 | | | NATURAL LIGHT = 8% | |
| 1207.3 | | | AIR-BORNE SOUND - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) STRUCTURE-BORNE SOUND - FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND PUBLIC OR SERVICE AREA WITHIN THE STRUCTURE SHALL HAVE AN INSULATION IMPACT CLASS (IIC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) | |
| 14 | BALCONIES | 1406.3 | (EXCEPTION 3) BALCONIES ON BUILDINGS OF TYPE VB CONSTRUCTION HAVE NO REQ. FIRE RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THIS AREA. | |

| LEGEND | | | |
|--------|--|--|---|
| SYMBOL | ITEM | SYMBOL | ITEM |
| | WALL TYPE - REFER TO WALL TYPES | | PLAN NOTE |
| | WALL SECTION REFERENCE OR DETAIL CUT - REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL | | REVISION MARK - REFER TO TITLE BLOCK FOR REVISION DATE SCHEDULED NOTE LIKE WALL HEIGHT OR ROOF TRUSS HEEL HEIGHT |
| | | | ACCESSIBILITY PLAN NOTE |
| SYMBOL | ITEM | ITEM DESCRIPTION | |
| | SMOKE DETECTOR | IBC 907.2 - SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE-WARNING EQUIPMENT PROVISIONS OF NFPA 72. | |
| | BATH FAN | BATH FANS ARE TO BE IN ROOMS CONTAINING ANY BATHING FIXTURES, BATHTUBS, SHOWERS OR SPA. IBC 1203.4.2.1 | |
| | VINYL WINDOW | LOW E, DOUBLE PANE GLASS, GLAZING, MINIMUM ASSEMBLY U-VALUE = .30 ALL EXTERIOR WINDOWS ARE CENTERED BETWEEN A ROOM'S WALLS UNLESS NOTED BY A DIMENSION. | |
| | FLOOR COVERING TRANSITION LINE | | |

| National Electrical Code | | | |
|--------------------------|--|--------------|---|
| CODE CHAPTER | CODE TITLE | CODE CHAPTER | CODE INFORMATION |
| 110 | REQUIREMENTS FOR ELECTRICAL INSTALLATION | 110.26 | SUFFICIENT WORKING SPACE SHALL BE PROVIDED AROUND ELECTRICAL EQUIPMENT (PANELS). THE DEPTH OF THE SPACE IN THE DIRECTION OF ACCESS TO LIVE PARTS SHALL BE A MINIMUM OF 3 FEET. THE MINIMUM WIDTH OF THE SPACE IN FRONT OF ELECTRICAL EQUIPMENT SHALL BE THE WIDTH OF THE EQUIPMENT OR 30 INCHES, WHICH EVER IS GREATER. THIS WORK SPACE SHALL BE CLEAR AND EXTEND FROM THE FLOOR TO A HEIGHT OF 6.5 FEET. THIS SPACE SHALL NOT BE USED FOR STORAGE. |
| 210 | DECKS AND PORCHES | 210.52(E)(3) | DECKS AND PORCHES ACCESSIBLE FROM AN INTERIOR DWELLING UNIT SHALL HAVE ONE RECEPTACLE. |
| 240 | OVERCURRENT PROTECTION | 240.24(d) | OVERCURRENT DEVICES (ELECTRICAL PANELS) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS. |

GENERAL NOTES;

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF 2009 IBC (WISCONSIN).
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND SPRINKLER DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, TOILETS, TRUSSES AND OTHER PROJECT REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.
- ALL FRAMING IS 24" O.C. AND ALL EXTERIOR WALLS HAVE 16" O.C. STUDS.
- WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)

SPRINKLER FIRE SUPPRESSION NOTES;

- TREY CEILINGS UNDER 100 CUBIC FEET AND LESS THAN 12" DEEP DO NOT REQUIRE COVERAGE.
- 4'-0" EAVE ALLOWABLE WITH 13 SPRINKLER COVERAGE, 2' EAVE IF 13R COVERAGE.
- FIRE ACCESS PER CHAPTER 13.
- INSULATION BLOWN FULL IN MANY FLOOR AND ROOF CAVITIES, NO CONCEALED SPACE.
-

| 60 UNIT BUILDING AREA DATA | | | |
|----------------------------|--------------------------------------|-----------------------------------|--------------------------------|
| FLOOR | SQUARE FOOTAGE WITHIN DWELLING UNITS | SQUARE FOOTAGE NON-DWELLING UNITS | TOTAL SQUARE FOOTAGE PER FLOOR |
| 0 | 0 | 25,804 | 25,804 |
| 1 | 23,155 | 3,655 | 26,810 |
| 2 | 23,446 | 3,364 | 26,810 |
| 3 | 14,359 | 2,537 | 16,896 |
| LOFT | 7,133 | 0 | 7,133 |
| TOTALS | 68,093 | 35,360 | 103,453 |

SKYLINE TOWERS

LaPlant
Architecture, LLC

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EMAIL: laplantarchitecture@yahoo.com

| REVISION | DATE |
|----------|-----------|
| 1 | 5/11/2016 |
| | |
| | |
| | |
| | |

DATE: 4/28/2016

PROJECT NO. 461462

SHEET

T 1.1

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U.L. Design No. L528 Unrestrained Assembly Rating - 1 Hour

(1) FLOOR SYSTEM 2. MIN. 3/4" GYPSUM CONCRETE OVER, 23/32 in. THICK T&G WOOD STRUCTURAL PANELS w/ STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO TRUSSES w/ JOINTS STAGGERED, SECURE TO TRUSSES w/ CONSTRUCTION ADHESIVE AND 6d NAILS SPACED 12 in. O.C. ALONG EACH TRUSS.
 (2) PARALLEL CHORD TRUSSES 24 in. O.C. MAX.
 (3) FURRING CHANNELS - 3/8" DEEP BY 2 1/8" WIDE 25 GAUGE GALVANIZED STEEL AT 24" O.C. (NOT SUPPORTING INSULATION)
 (3B) ATTACHMENT OF FURRING CHANNELS, CLIPS SPACED 48" O.C. SECURED TO ALTERNATING TRUSSES. USE NO. 8 x 1 1/2" COURSE DRYWALL SCREW. FURRING CHANNEL IS FRICTION FITTED INTO CLIPS. ADJOINING CHANNELS OVERLAPPED.
 (4) PROPRIETARY TYPE "X" GYPSUM - 5/8 in. THICK, 4 FT. WIDE SHEETS INSTALLED w/ LONG DIMENSION PERPENDICULAR TO FURRING CHANNELS w/ 1 in. LONG WALLBOARD SCREWS SPACED 12 in. O.C. END JOINTS SECURED TO BOTH CHANNELS.
 (5) FINISHING SYSTEM - JOINT COMPOUND APPLIED IN TWO COATS TO SCREW HEADS, SEAMS WITH PAPER TAPE EMBEDDED IN FIRST COAT OF COMPOUND.
 (6) OPTIONAL INSULATION SYSTEM USED. IF BIB INSULATION USED, MUST NOT BEAR LOAD ONTO CHANNEL OR GYPSUM BOARD. FIBER REINFORCED POLY STAPLED TO TRUSSES TO SUPPORT INSULATION.

GA FILE NO. FC 5518 WOOD TRUSSES, GYPSUM WALLBOARD 1 HOUR FIRE

(1) 3/4" PROPRIETARY GYPSUM FLOOR TOPPING (2) FLOORING SYSTEM - 23/32 in. THICK T&G WOOD STRUCTURAL PANELS w/ FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO TRUSSES w/ JOINTS STAGGERED, SECURE TO TRUSSES w/ CONSTRUCTION ADHESIVE AND 6d RING SHANK NAILS. NAILS SPACED 12 in. O.C. ALONG EACH TRUSS. (3) 18" DEEP PARALLEL CHORD TRUSSES 24 in. O.C. MAX. (4) BIB INSULATION (5) RESILIENT CHANNELS - SPACED 16 in. O.C. PERPENDICULAR TO TRUSSES, (NO INSULATION LOAD). CHANNELS SECURED TO EACH TRUSS w/ TYPE 5, 1 1/4 in. LONG STEEL SCREW (6) PROPRIETARY TYPE "X" GYPSUM - 5/8 in. THICK, 4 FT. WIDE SHEETS INSTALLED w/ LONG DIMENSION PERPENDICULAR TO FURRING OR RESILIENT CHANNELS w/ 1 in. LONG WALLBOARD SCREWS SPACED 8 in. O.C.

IBC 720.1(3) MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS a,q

| FLOOR OR ROOF CONSTRUCTION | ITEM NUMBER | CEILING CONSTRUCTION | THICKNESS OF FLOOR OR ROOF SLAB (INCHES) | | | | | | 1 HR FIRE (ASSEMBLY) 66 MIN. FINISH RATING |
|--|-------------|---|--|--------|--------|--------|--------|--------|--|
| | | | 3 HOUR | 2 HOUR | 1 HOUR | 3 HOUR | 2 HOUR | 1 HOUR | |
| 21. WOOD JOISTS, FLOOR TRUSSES AND FLAT OR PITCHED ROOF TRUSSES SPACED A MAXIMUM 24" O.C. WITH MIN. 1/2" WOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO TOP OF JOIST OR TOP CHORD OF TRUSSES WITH 6d NAILS. THE WOOD STRUCTURAL PANEL THICKNESS SHALL NOT BE LESS THAN NOMINAL 1/2" LESS THAN REQUIRED BY CHAPT. 23. | 21-1.1 | BASE LAYER: 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS @ 24" O.C. MAX. WITH 1 1/4" TYPE "S" OR TYPE "W" DRYWALL SCREWS @ 24" O.C. FACE LAYER: 5/8" TYPE "X" GYPSUM WALLBOARD OR VENEER BASE APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1 1/8" TYPE "S" OR TYPE "W" DRYWALL SCREWS @ 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE "G" DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" O.C. | --- | --- | VAR. | --- | --- | 1 1/4" | |

IBC 720.1(2) RATED FIRE-RESISTANCE PERIODS FOR WALLS AND PARTITIONS a,o,p

| MATERIAL | ITEM NUMBER | CONSTRUCTION | MINIMUM FINISHED THICKNESS FACE TO FACE (INCHES) | | | | 1 HOUR FIRE |
|--|-------------|--|--|------|------|--------|-------------|
| | | | 4 HR | 3 HR | 2 HR | 1 HR | |
| 14. WOOD STUDS - INTERIOR PARTITION WITH GYM WALLBOARD EACH SIDE | 14-1.3 1m | 2" x 4" WOOD STUDS 24" ON CENTER, MAX. WITH 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED VERTICALLY WITH ALL JOINTS OVER FRAMING OR BLOCKING AND FASTENED WITH 2 1/4" TYPE 5 DRYWALL SCREWS 1" O.C. JOINTS TAPED AND MIDDLED. EXTERIOR COVERED WITH 3/8" OSB APPLIED VERTICALLY WITH ALL JOINTS OVER FRAMING OR BLOCKING AND FASTENED WITH 6d NAILS @ 12" O.C. IN FIELD OR 6" O.C. EDGES. R19 FIBERGLASS INSULATION. | --- | --- | --- | 4 3/4" | |

UL DESIGN NO. U341 RATED FIRE-RESISTANCE FOR BEARING WALL 1 HOUR FIRE

| MATERIAL | CONSTRUCTION | 1 HOUR FIRE |
|---|---|-------------|
| BEARING WALL RATING - WOOD STUD WALL AND GYPSUM BOARD | 1. 2"x4" WOOD STUDS 24" O.C. MAX. CROSS BRACED AT MID-HEIGHT AND EFFECTIVELY FIRESTOPPED AT TOP AND BOTTOM OF WALL. 2. 5/8" TYPE "X" GYPSUM WALLBOARD, 4 FT. WIDE, NAILED TO STUDS AND BEARING PLATES 7 in. O.C. w/ 6d CEMENT COATED NAILS 1-7/8 in. LONG, 0.0915 in. SHANK DIA. AND 1/4 in. DIA. HEAD 3. JOINTS AND NAILHEADS- WALLBOARD JOINTS COVERED w. PAPER TAPE AND JOINT COMPOUND. NAILHEADS COVERED w/ JOINT COMPOUND. 4. SHEATHING (OPTIONAL)- SEPTUM MAY BE SHEATHED w/ MIN. 7/16 in. THICK APA RATED SHEATHING WOOD STRUCTURAL PANELS OR MIN. 1/2 in. THICK MINERAL AND FIBER BOARD 5. BATT INSULATION - 3-1/2" MAX THICKNESS GLASS OR MINERAL FIBER BATT INSULATION. OPTIONAL IF SHEATHING IS USED ON BOTH HALVES OF WALL. | |

IBC 720.1(2) RATED FIRE-RESISTANCE PERIODS FOR WALLS AND PARTITIONS a,o,p

| MATERIAL | ITEM NUMBER | CONSTRUCTION | MINIMUM FINISHED THICKNESS FACE TO FACE (INCHES) | | | | 1 HOUR FIRE |
|--|-------------|--|--|------|------|--------|-------------|
| | | | 4 HR | 3 HR | 2 HR | 1 HR | |
| 16. EXTERIOR WALLS RATED FOR FIRE RESISTANCE FROM THE INSIDE ONLY IN ACCORDANCE WITH SECTION 704.5 | 16-1.3 | 2" x 6" WOOD STUDS 16" ON CENTER WITH 3/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY WITH ALL JOINTS OVER FRAMING OR BLOCKING AND FASTENED WITH 2 1/4" TYPE 5 DRYWALL SCREWS 1" O.C. JOINTS TAPED AND MIDDLED. EXTERIOR COVERED WITH 3/8" OSB APPLIED VERTICALLY WITH ALL JOINTS OVER FRAMING OR BLOCKING AND FASTENED WITH 6d NAILS @ 12" O.C. IN FIELD OR 6" O.C. EDGES. R19 FIBERGLASS INSULATION. | --- | --- | --- | 6 1/2" | |

UL DESIGN NO. U301 BEARING WALL RATING 2 HOUR FIRE 66 MIN. FINISH

| MATERIAL | CONSTRUCTION | 2 HOUR FIRE 66 MIN. FINISH |
|---|--|----------------------------|
| WOOD STUD AND GYPSUM BOARD INTERIOR PARTITION | 1. 2x4 WOOD STUDS @ 16 in. O.C. FIRESTOPPED 2. NAILHEADS- (NOT SHOWN) EXPOSED OR COVERED w/ JOINT COMPOUND 3. JOINTS- EXPOSED OR COVERED w/ FIBER TAPE AND JOINT COMPOUND 4. NAILS- (NOT SHOWN) 6d CEMENT COATED NAILS; 1-7/8 in. LONG, 0.0915 in. SHANK DIAMETER, 1/4 in. DIAMETER HEADS AND 6d CEMENT COATED NAILS; 2-3/8 in. LONG, 0.113 in. SHANK DIAMETER, 9/32 in. DIAMETER HEADS 5. GYPSUM WALLBOARD- TWO LAYERS OF 5/8" THICK TYPE "X" WALLBOARD, APPLIED EITHER HORIZONTALLY OR VERTICALLY. BASE LAYER ATTACHED TO STUDS WITH THE 1-7/8 in. NAILS, SPACED 6 in. O.C. OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH THE 2-3/8 in. NAILS, SPACED 8 in. O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYERS STAGGERED WITH JOINTS IN BASE LAYERS. JOINTS OF EACH BASE LAYER OFFSET WITH JOINT OF BASE LAYER ON OPPOSITE SIDE. | |

GA FILE NO. 5724 2 HOUR FIRE FLOOR CEILING SYSTEM

| FLOOR OR ROOF CONSTRUCTION | CEILING CONSTRUCTION | 2 HOUR FIRE 66 MIN. FINISH |
|--|--|----------------------------|
| 2x10 WOOD JOISTS SPACED A MAXIMUM 16" O.C. 15/32" PLYWOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO TOP OF JOIST WITH 6d NAILS. 15/32" PLYWOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED WITH JOINTS STAGGERED WITH 6d NAILS. | BASE LAYER: 5/8" PROPRIETARY TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST WITH 6d NAILS @ 1" O.C. RESILIENT CHANNELS - SPACED 24 in. O.C. PERPENDICULAR TO TRUSSES. CHANNELS SECURED TO EACH JOIST WITH ONE 6d NAIL IN EACH JOIST FACE LAYER: 5/8" PROPRIETARY TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO RESILIENT CHANNELS WITH 1" TYPE 5 DRYWALL SCREW 12" O.C. DOUBLE CHANNEL APPLIED AND FACE LAYER END JOINTS. | |

UL DESIGN NO. X528 1 HOUR FIRE

| COLUMN MINIMUM SIZE | CONSTRUCTION | 1 HOUR FIRE |
|-----------------------------------|--------------|--|
| T54 x 4 x 0.108 T98 x 8 x 0.25 | | 1. ANY 1/2" OR 3/4" GYPSUM WITH UL FIRE RESISTANCE MARKINGS, APPLIED VERTICALLY WITHOUT HORIZONTAL JOINTS ONE HOUR / ONE LAYER HELD IN PLACE WITH PAPER MASKING TAPE. |

IBC 720.1.2 & 720.1(1) ITEM NUMBER 1-1.5 MIN. PROTECTION OF PRIMARY STRUCTURAL STEEL COLUMNS 1 HOUR FIRE

Unit Masonry Protection

1" MINIMUM THICKNESS FOR 8x8 CONCRETE BLOCKS
2"x8"x8" NOMINAL BLOCKS SHOWN
WALL TIES PER 720.1.2

UL DESIGN NO. U366 SEPARATION WALL CONSTRUCTION 2 HOUR FIRE

SECTION A-A

SEPARATION WALL: (Max Height - 44 ft)
1. FLOOR, INTERMEDIATE OR TOP WALL - 2" WIDE CHANNEL SHAPED WITH 1" LONG LEGS FORMED FROM No. 25 MS6 GALV. STEEL, SECURED WITH SUITABLE FASTENERS SPACED 24" O.C.
2. STEEL STUDS - STEEL MEMBERS FORMED FROM No. 25 MS6 GALV. STEEL HAVING "H"-SHAPED FLANGED SPACED 24" O.C.; OVERALL DEPTH 2" AND FLANGE WIDTH 1 3/8".
3. GYPSUM BOARD - TWO LAYERS OF 1" THICK GYPSUM WALLBOARD LINER PANELS, SUPPLIED IN NOM 24" WIDTHS. VERTICAL EDGES OF PANELS FRICTION FITTED INTO "H"-SHAPED STUDS.
PROTECTED WALL: (Bearing or Nonbearing Wall)
4. WOOD STUDS & GYPSUM BOARD - 2" x 4" STUD WALL AT 24" O.C. WITH A MIN. OF 3/4" SEPARATION BETWEEN WOOD FRAMING AND FIRE SEPARATION WALL.
5. MIN. 1/2" GYPSUM ON INTERIOR SIDE OF WALL.
6. ATTACHMENT CLIPS - ALUMINUM ANGLE, 0.063" THICK, 2" WIDE AND 2 1/4" LEGS. CLIPS SECURED WITH TYPE 9 SCREWS 3/8" LONG TO "H" STUDS AND WITH TYPE W SCREWS 1 1/4" LONG TO WOOD FRAMING THROUGH HOLES PROVIDED IN CLIP.

ASTM E119-00a 1 HOUR FIRE

CONTEGO INTUMESCENT FIRE RETARDANT Intertek Testing Services

| BEAM SIZES | AVG. COATING THICKNESS (MILS) |
|------------|-------------------------------|
| W10 x 49 | 66 |
| W12 x 120 | 58 |

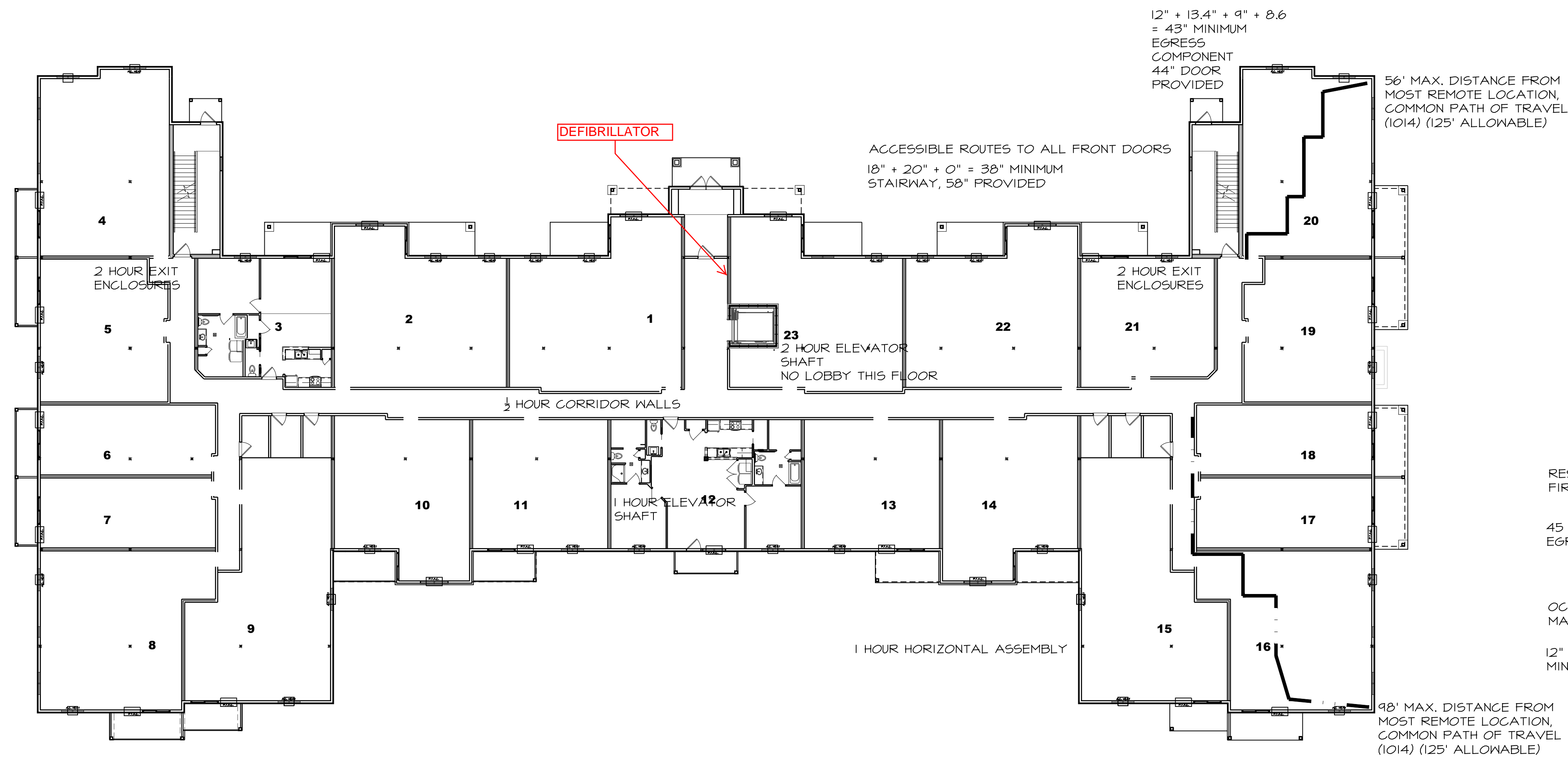
INTUMESCENT FIRE RETARDANT OPTION FOR PLACES THAT THE GYPSUM BOX OUT BECOMES IMPRACTICAL.

SKYLINE TOWERS

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DATE: 4/28/2016
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FIRST FLOOR PLAN
NOT TO SCALE:

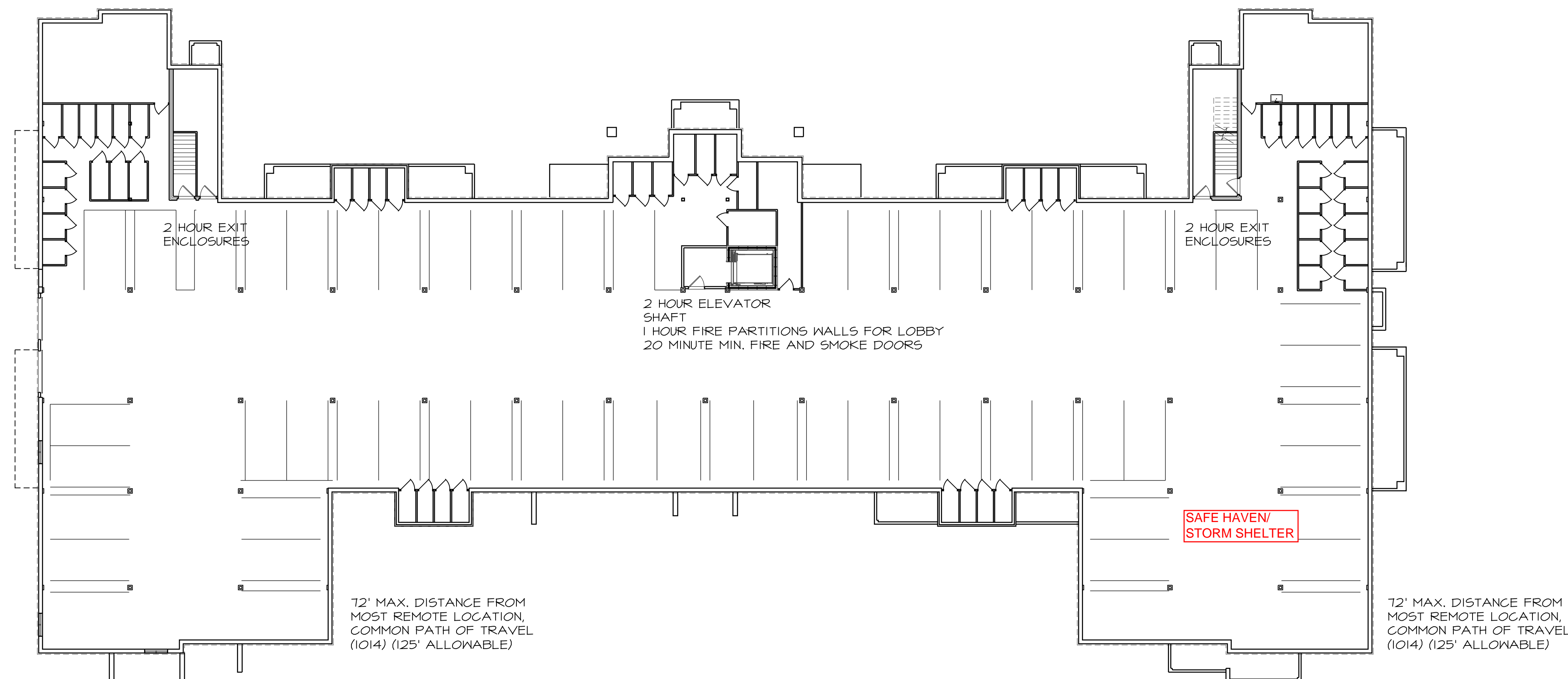
RESIDENTIAL = ONE PERSON / 200 S.F. GROSS *
FIRST FLOOR 26,810 S.F. / 200 = 134 PEOPLE / 3 EXITS = 45 PEOPLE

45 PEOPLE * .2 = 9" MINIMUM EGRESS COMPONENT 45 PEOPLE * 0 = NO PEOPLE GO TO STAIRWAY

OCCUPANT LOADS PER (1004.1.1) MAX. CONVERGENCE PER EXIT

12' + 13.4' + 9' + 8.6 = 43" MINIMUM EGRESS COMPONENT 18' + 20' = 38" MINIMUM STAIRWAY

SAFETY PLANS



PARKING PLAN
NOT TO SCALE:

OCCUPANT LOADS PER (1004.1.1) 98 PEOPLE PARKING LEVEL

ACCESSORY = ONE PERSON / 300 S.F. GROSS *
25,804 S.F. / 300 = 86 PEOPLE / 2 EXITS = 43 PEOPLE

43 PEOPLE * .2 = 8.6" MINIMUM EGRESS COMPONENT 43 PEOPLE * .3 = 13" MINIMUM STAIRWAY

SKYLINE TOWERS

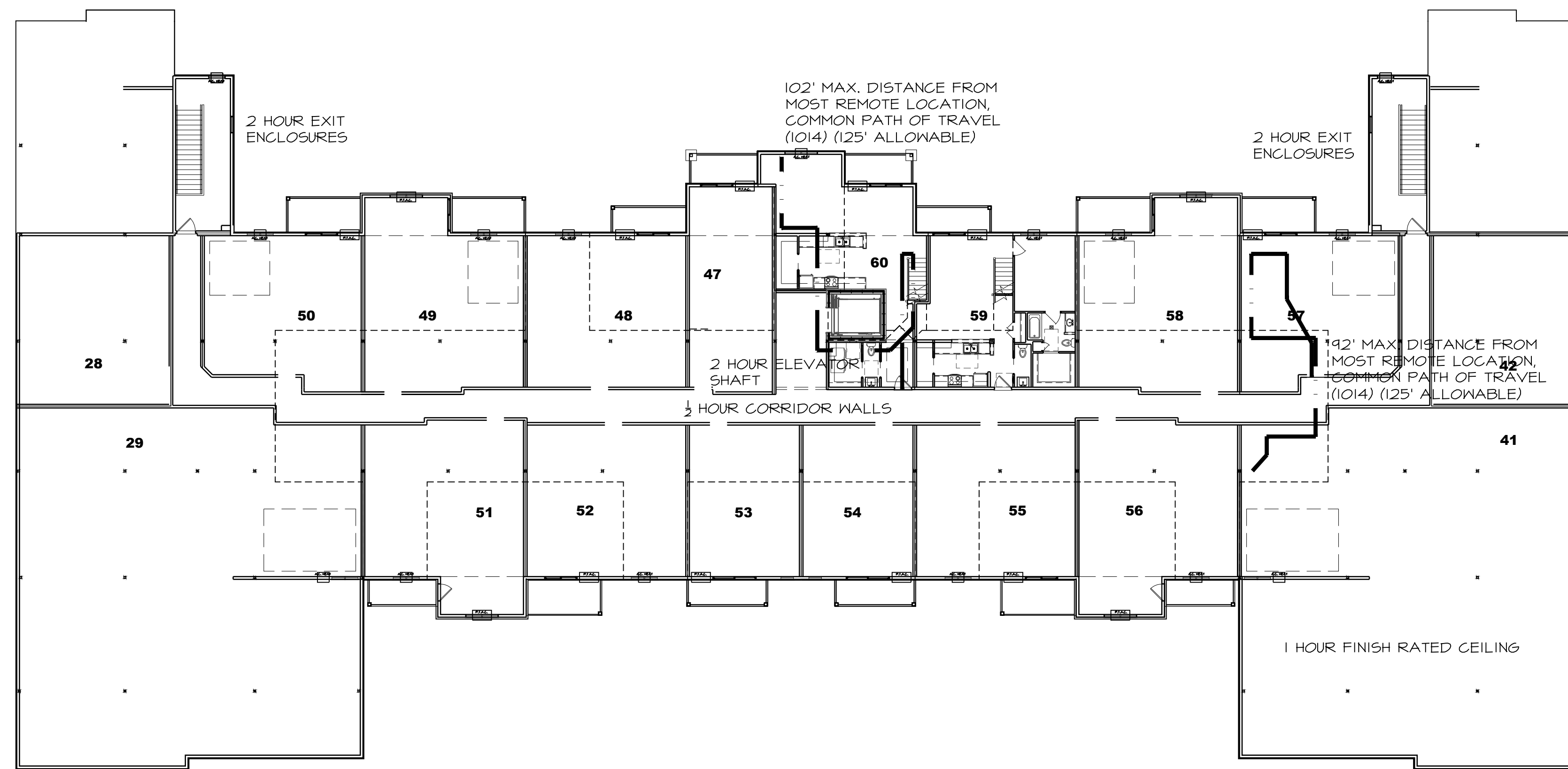
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SHEET T 2.1

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SAFETY PLANS



THIRD FLOOR PLAN
NOT TO SCALE:

OCCUPANT LOADS PER (1004.1.1)
120 PEOPLE TOTAL FROM BOTH THIRD AND LOFT FLOORS
RESIDENTIAL = ONE PERSON / 200 S.F. GROSS *
23,433 S.F. / 200 = 120 PEOPLE / 2 EXITS = 60 PEOPLE

60 PEOPLE * .2 = 12" MINIMUM EGRESS COMPONENT
60 PEOPLE * .3 = 18" MINIMUM STAIRWAY

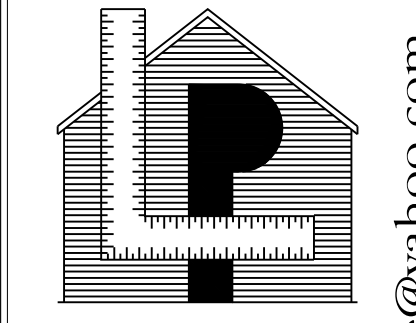


SECOND FLOOR PLAN
NOT TO SCALE:

OCCUPANT LOADS PER (1004.1.1)
134 PEOPLE TOTAL FROM SECOND FLOOR
RESIDENTIAL = ONE PERSON / 200 S.F. GROSS *
26,810 S.F. / 200 = 134 PEOPLE / 2 EXITS = 67 PEOPLE

67 PEOPLE * .2 = 13.5" MINIMUM EGRESS COMPONENT
67 PEOPLE * .3 = 20" MINIMUM STAIRWAY

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461462

SHEET
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2.2

**Proposed New 60 Unit Leased Residences
with Lower Level Parking**

Presented by;

**LEXINGTON HOMES
Skyline Towers**

DETAIL OF
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/32" = 1'-0"



SKYLINE TOWERS

| <p>LaPlant Architecture, LLC</p> <p>OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769</p> <p>EMAIL: laplantarchitecture@yahoo.com</p> <p>© LaPlant Architecture LLC 2016</p> | <table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>5/11/2016</td> </tr> </tbody> </table> | REVISION | DATE | 1 | 5/11/2016 |
|---|---|----------|------|---|-----------|
| | REVISION | DATE | | | |
| 1 | 5/11/2016 | | | | |
| <p>DATE: 4/28/2016</p> <p>PROJECT NO. 461462</p> <p>SHEET A 1.1</p> | | | | | |



BACK ELEVATION

SCALE: 3/32" = 1'-0"

97th COURT



DETAIL OF BACK ELEVATION
SCALE: 3/16" = 1'-0"

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DATE: 4/28/2016
PROJECT NO. 461482
SHEET
A
1.2

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96th AVENUE

GARAGE ENTRANCE ELEVATION

SCALE: 3/16" = 1'-0"



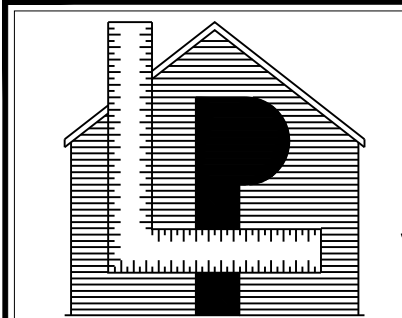
94th AVENUE

STREET ELEVATION

SCALE: 3/16" = 1'-0"



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SHEET
A
1.3

DWELLING UNIT PLAN NOTES

- 1 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
- 2 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
- 3 1 HOUR FINISH RATED CEILING.
- 4 1 HOUR RATED WALL ASSEMBLY.
- 5 1 HOUR RATED WALL ASSEMBLY.
- 6 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
- 7 1 HOUR RATED COLUMN COVERS.
- 8 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
- 9 2 HOUR RATED WALL ASSEMBLY
- 10 2 HOUR GAP SYSTEM.
- 11 2 HOUR SHAFT WALL ASSEMBLY
- 12 STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
- 13 STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
- 14 2X6 INTERIOR WALL
- 15 SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET. FLOOR COVERING TRANSITION LINE.
- 16 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
- 17 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
- 18 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
- 19 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVES IBC 905.3.1, CONFIRM WITH FIRE DEPARTMENT.
- 20 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
- 21 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK. SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
- 22 ACOUSTIC CEILING DROPPED TO 8' A.F.F.
- 23 6" WIDE GYPSUM SOFFIT DROPPED TO 8' A.F.F.
- 24 ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A.4.2
- 25 9' FLAT CEILING, FLOOR ABOVE
- 26 TREY DROPPED 8" AND FRAMED INTO ROOM 12', 9' CEILING MINIMUM, CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
- 27 TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
- 28 FURRED WALL
- 29 SOUND INSULATED WALL
- 30 BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
- 31 STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN STEEL AND EXTERIOR SHEATHING.
- 32 EXTERIOR WALL - EITHER IN ATTIC OR ABOVE THE ROOF LINE, EXTERIOR SURFACE SHEATHED WITH OSB

DWELLING ELECTRICAL / MECHANICAL NOTES

- A ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
- B PEDESTAL SINK WITH KNEE SPACE, TOILET TO HAVE FUTURE GRAB BAR BLOCKING.
- C MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
- D SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
- E LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
- F PEDESTAL SINK DOES NOT REQUIRE KNEE SPACE, TOILET DOES NOT REQUIRE FUTURE GRAB BAR BLOCKING.
- G 2 WAY COMMUNICATION, 100T.8

TYPICAL DWELLING MATERIAL NOTES

1. ALL WINDOWS AND DOORS IN KITCHEN, LIVING AND DINING ROOMS (COMMON AREAS) HAVE JAMBS AND CASING OPENINGS. ALL WINDOWS AND DOORS IN PRIVATE ROOMS LIKE BEDROOMS HAVE GYPSUM JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 102.6)
2. ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
3. ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 3 UNLESS OTHERWISE NOTED.
4. ALL LOFT FLOOR DOORS ARE 3 UNLESS OTHERWISE NOTED.
5. ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
6. ALL LINEN CLOSETS 20" DEEP MAX.
7. ALL TUBS ARE 60x32". ALL SHOWERS ARE 48x36".
8. PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING, NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.
9. SPS 362.1200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
10. SMOKE DETECTION REQUIRED IN ALL BEDROOMS AND ONE IN THE PUBLIC SPACE OF THE DWELLING. AT LEAST ONE PER FLOOR.

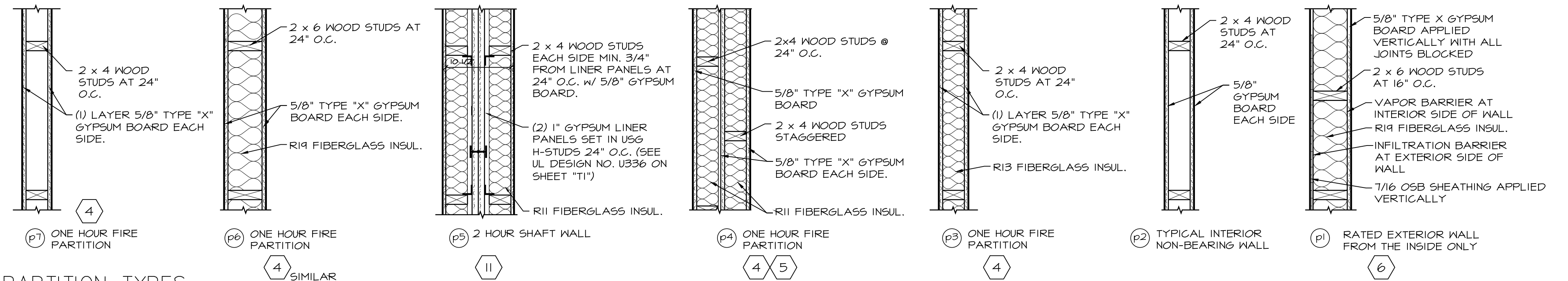
WOOD HEADER SCHEDULE

| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
|------|-------------|----------|--------|----------------|------------|---------------------------|
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAWN | 2 | 2 | |
| H4 | 2X12 | 3 | SAWN | 2 | 2 | |
| H5 | 1.75X11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5/2"x11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5/2"x14" | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4"x18" | 1 | GLULAM | COLUMN BRACKET | | |

ARCHITECTURAL PLAN NOTES:
 • F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
 • C = CONTINUOUS HEADER
 • SEE FRAMING DETAILS ON SHEET A/4.3

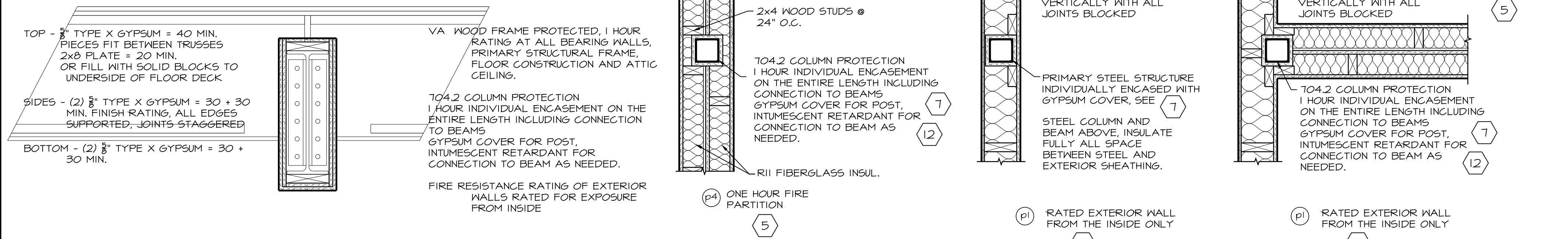
TYPICAL FIRE RATED STRUCTURES NOTES

1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6x16" O.C. UNLESS OTHERWISE NOTED.
2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x @ 24" O.C. UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED, U.O.N.
3. NO DRAFTSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED. RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED. IS-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
6. THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED. IS-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
7. LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED. RESILIENT CHANNEL FOR CEILING, U.O.N.
8. STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED GYPSUM SHAFT WALL SYSTEM ENDING AT TWO HOUR GAP.
9. ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
10. IBC 703.6 SHAFT WALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STENCILING.



PARTITION TYPES

SCALE: 1 1/2" = 1'-0"



POST AND BEAM ENCLOSURES

SCALE: 1 1/2" = 1'-0"

FIRST FLOOR OPENING SCHEDULE

| WINDOW STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | WINDOW S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
|--|--------------|----------------------|--------------|-------------|----------------------|-------------|------------------|-----------------------|
| 5/0x4/6 | 14 | 2 | 2 | 10 | 2 | 22.5 | 30 | 615 |
| 3/0x4/6 | 0 | 0 | 0 | 0 | 2 | 13.5 | 2 | 27 |
| 5/0x2/0 | 0 | 2 | 2 | 0 | 0 | 10 | 4 | 40 |
| 2/6x2/0 | 0 | 2 | 2 | 0 | 0 | 5 | 4 | 20 |
| 6/0x4/6 | 2 | 0 | 0 | 2 | 0 | 27 | 4 | 108 |
| 6/0x4/0 | 2 | 0 | 0 | 0 | 0 | 24 | 2 | 48 |
| 4/0x4/6 | 0 | 0 | 0 | 0 | 0 | 18 | 0 | 0 |
| 5/0x4/0 | 0 | 0 | 0 | 1 | 0 | 20 | 1 | 20 |
| TRANSOMS 3/0x1/6 | 0 | 0 | 0 | 1 | 0 | 4.5 | 1 | 4.5 |
| 5/0x1/6 | 0 | 0 | 0 | 1 | 0 | 7.5 | 1 | 7.5 |
| 6/0x1/6 | 2 | 4 | 4 | 6 | 0 | 9 | 16 | 144 |
| | | | | | | | | 1094 |
| DOOR STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | DOOR S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
| (2) 3/4x7/0 | 1 | 0 | 0 | 0 | 0 | 46.2 | 1 | 46.2 |
| 3/8x7/0 | 2 | 0 | 0 | 0 | 0 | 23.1 | 2 | 46.2 |
| 3/0x6/8 | 0 | 0 | 0 | 1 | 0 | 20 | 1 | 20 |
| 6/0x6/8 PATIO DOOR | 6 | 4 | 4 | 8 | 0 | 40 | 22 | 880 |
| NOTE: THERE ARE DOORS IN THE LOBBY AND EXIT ENCLOSURE NOT COUNTED HERE FOR THEY ARE NOT EXTERIOR OPENINGS. | | | | | | | | 992 |

SECOND FLOOR OPENING SCHEDULE

| WINDOW STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | WINDOW S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
|--------------------|--------------|----------------------|--------------|-------------|----------------------|-------------|------------------|-----------------------|
| 5/0x4/6 | 14 | 2 | 2 | 10 | 2 | 22.5 | 30 | 615 |
| 3/0x4/6 | 2 | 0 | 0 | 0 | 2 | 13.5 | 4 | 54 |
| 5/0x2/0 | 0 | 2 | 2 | 0 | 0 | 10 | 4 | 40 |
| 2/6x2/0 | 0 | 2 | 2 | 0 | 0 | 5 | 4 | 20 |
| 6/0x4/0 | 1 | 0 | 0 | 0 | 0 | 24 | 1 | 24 |
| 6/0x4/6 | 2 | 0 | 0 | 2 | 0 | 27 | 4 | 108 |
| 4/0x4/6 | 0 | 0 | 0 | 0 | 0 | 18 | 0 | 0 |
| 5/0x4/0 | 0 | 0 | 0 | 1 | 0 | 20 | 1 | 20 |
| TRANSOMS 3/0x1/6 | 0 | 0 | 0 | 1 | 0 | 4.5 | 1 | 4.5 |
| 5/0x1/6 | 0 | 2 | 2 | 1 | 0 | 7.5 | 5 | 37.5 |
| 6/0x1/6 | 4 | 4 | 4 | 6 | 0 | 9 | 18 | 162 |
| 8/0x1/6 | 0 | 0 | 0 | 0 | 0 | 12 | 0 | 0 |
| | | | | | | | | 1145 |
| DOOR STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | DOOR S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
| (2) 3/4x7/0 | 0 | 0 | 0 | 0 | 0 | 46.2 | 0 | 0 |
| 3/4x7/0 | 0 | 0 | 0 | 0 | 0 | 23.1 | 0 | 0 |
| 3/0x6/8 | 0 | 0 | 0 | 1 | 0 | 20 | 1 | 20 |
| 6/0x6/8 PATIO DOOR | 6 | 4 | 4 | 8 | 0 | 40 | 22 | 880 |
| 8/0x6/8 PATIO DOOR | 0 | 0 | 0 | 0 | 0 | 53.4 | 0 | 0 |
| | | | | | | | | 900 |

THIRD FLOOR OPENING SCHEDULE

| WINDOW STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | WINDOW S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
|--------------------|--------------|----------------------|--------------|-------------|----------------------|-------------|------------------|-----------------------|
| 5/0x4/6 | 6 | 0 | 0 | 4 | 0 | 22.5 | 10 | 225 |
| 3/0x4/6 | 2 | 0 | 0 | 0 | 2 | 13.5 | 4 | 54 |
| 5/0x2/0 | 0 | 0 | 0 | 0 | 0 | 10 | 10 | 100 |
| 2/6x2/0 | 0 | 0 | 0 | 2 | 0 | 5 | 7 | 35 |
| 6/0x4/0 | 2 | 0 | 0 | 2 | 0 | 24 | 4 | 96 |
| 6/0x4/6 | 1 | 0 | 0 | 0 | 0 | 27 | 1 | 27 |
| 4/0x4/6 | 0 | 0 | 0 | 0 | 0 | 18 | 0 | 0 |
| 5/0x4/0 | 0 | 0 | 0 | 2 | 0 | 20 | 2 | 40 |
| TRANSOMS 3/0x1/6 | 0 | 0 | 0 | 0 | 0 | 4.5 | 0 | 0 |
| 5/0x1/6 | 2 | 0 | 0 | 2 | 0 | 7.5 | 4 | 30 |
| 6/0x1/6 | 6 | 0 | 0 | 2 | 0 | 9 | 8 | 72 |
| 8/0x1/6 | 0 | 0 | 0 | 2 | 0 | 12 | 2 | 24 |
| | | | | | | | | 103 |
| DOOR STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | DOOR S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
| (2) 3/4x7/0 | 0 | 0 | 0 | 0 | 0 | 46.2 | 0 | 0 |
| 3/4x7/0 | 0 | 0 | 0 | 0 | 0 | 23.1 | 0 | 0 |
| 3/0x6/8 | 0 | 0 | 0 | 2 | 0 | 20 | 2 | 40 |
| 6/0x6/8 PATIO DOOR | 8 | 0 | 0 | 2 | 0 | 40 | 10 | 400 |
| 8/0x6/8 PATIO DOOR | 0 | 0 | 0 | 2 | 0 | 53.4 | 2 | 107 |
| | | | | | | | | 541 |

LOFT FLOOR OPENING SCHEDULE

| WINDOW STYLE | 81st. STREET | GARAGE ENTRANCE SIDE | 94th. STREET | 97th. COURT | COURTYARD ELEVATIONS | WINDOW S.F. | TOTAL THIS FLOOR | TOTAL S.F. THIS FLOOR |
|------------------|--------------|----------------------|--------------|-------------|----------------------|-------------|------------------|-----------------------|
| 5/0x4/6 | 2 | 0 | 0 | 4 | 0 | 22.5 | 6 | 135 |
| 3/0x4/6 | 0 | 0 | 0 | 0 | 0 | 13.5 | 0 | 0 |
| 5/0x2/0 | 0 | 0 | 0 | 0 | 0 | 10 | 0 | 0 |
| 2/6x2/0 | 0 | 0 | 0 | 0 | 0 | 5 | 0 | 0 |
| 6/0x4/0 | 1 | 0 | 0 | 0 | 0 | 24 | 1 | 24 |
| 6/0x4/6 | 0 | 0 | 0 | 0 | 0 | 27 | 0 | 0 |
| 4/0x4/6 | 0 | 0 | 0 | 0 | 0 | 18 | 0 | 0 |
| 5/0x4/0 | 0 | 0 | 0 | 0 | 0 | 20 | 0 | 0 |
| TRANSOMS 3/0x1/6 | 0 | 0 | 0 | 0 | 0 | 4.5 | 0 | 0 |
| 5/0x1/6 | 0 | 0 | 0 | 0 | 0 | 7.5 | 0 | 0 |
| 6/0x1/6 | 1 | 0 | 0 | 0 | 0 | 10 | 1 | 10 |
| | | | | | | | | 169 |

SKYLINE TOWERS

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REVISION DATE
 1 5/11/2016

DATE 4/28/2016
 PROJECT NO. 461482
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EMAIL: laplantarchitecture@yahoo.com

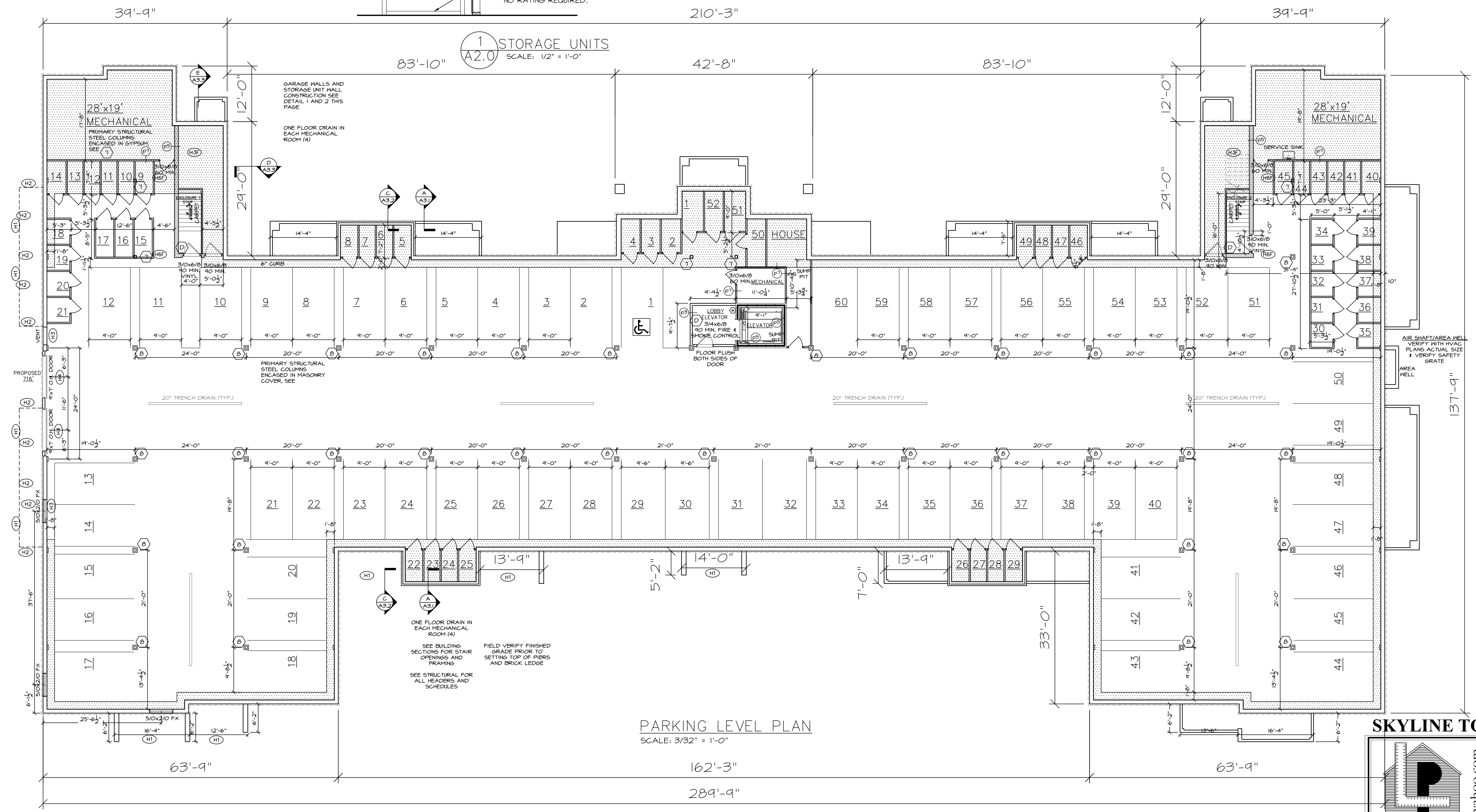
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FIRE RATED FLOOR SYSTEM.
BUILD TO UNDERSIDE OF GYPSUM
CEILING

FOR SECURITY, 2x3
VINYL-COVERED CHICKEN WIRE
FROM SHEATHING TO CEILING

WOOD FRAME WALLS WITH OSB
SHEATHING ONE SIDE, GAP OSB
OFF FLOOR 1". NO RATING
REQUIRED FOR WALLS.

ALL DOORS ARE 3/0x6/0,
UNDERCUT DOOR 2" FOR AIR
MOVEMENT.
NO RATING REQUIRED.



PARKING LEVEL PLAN
SCALE: 3/32" = 1'-0"

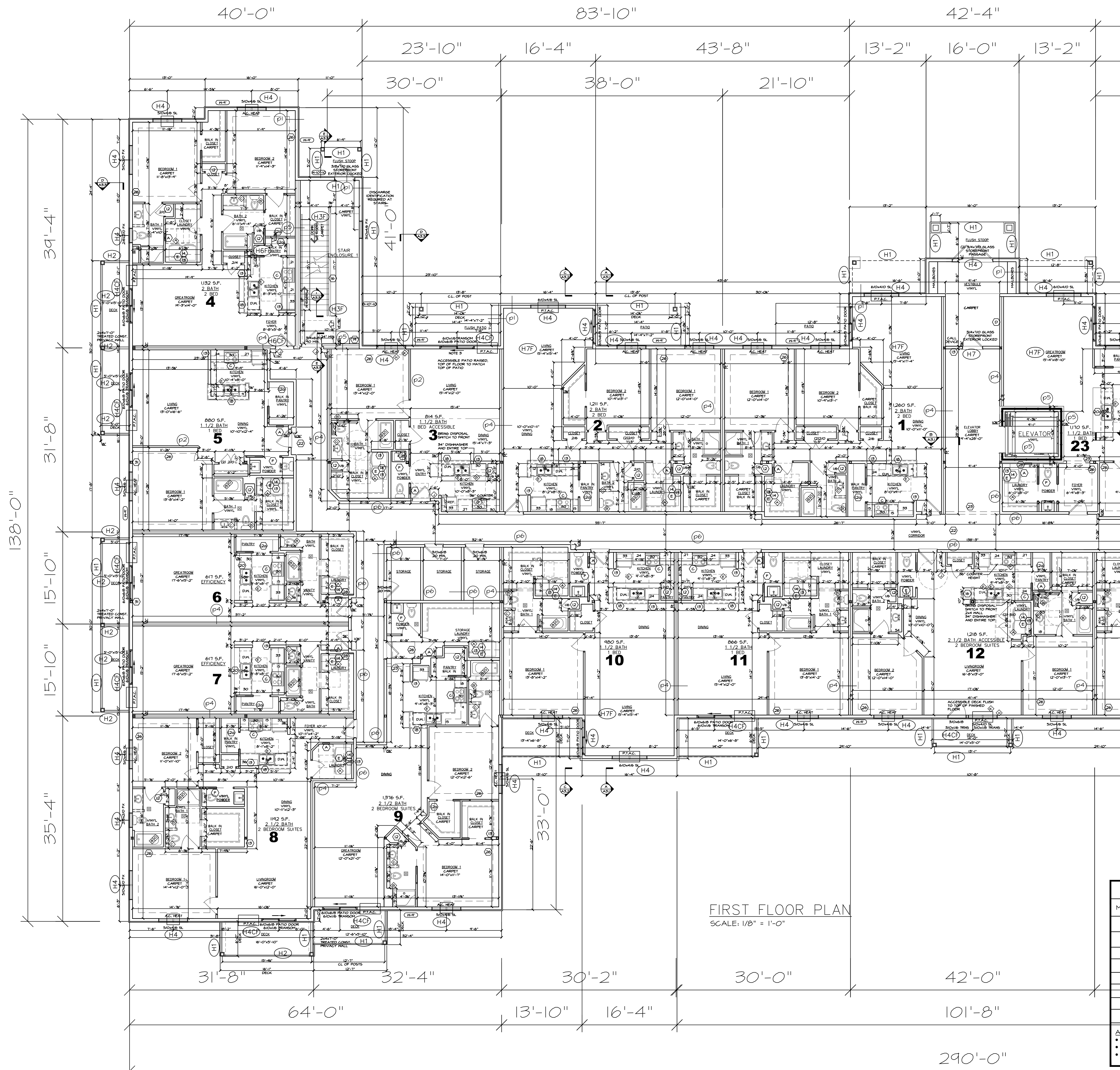
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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

- ### DWELLING UNIT PLAN NOTES
- 1 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 2 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 3 1 HOUR FINISH RATED CEILING.
 - 4 1 HOUR RATED WALL ASSEMBLY.
 - 5 1 HOUR RATED WALL ASSEMBLY.
 - 6 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 7 1 HOUR RATED COLUMN COVERS.
 - 8 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 9 2 HOUR RATED WALL ASSEMBLY
 - 10 2 HOUR CAP SYSTEM.
 - 11 2 HOUR SHAFT WALL ASSEMBLY
 - 12 STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
 - 13 STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 14 2X6 INTERIOR WALL
 - 15 SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET.
 - 16 FLOOR COVERING TRANSITION LINE.
 - 17 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 18 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 19 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 20 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVES IBC 905.31, CONFIRM WITH FIRE DEPARTMENT.
 - 21 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 22 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 23 SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - 24 ACOUSTIC CEILING DROPPED TO 8' A.F.F.
 - 25 6" WIDE GYPSUM SOFFIT DROPPED TO 8' A.F.F.
 - 26 ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A4.2
 - 27 9' FLAT CEILING, FLOOR ABOVE
 - 28 TREY DROPPED 8" AND FRAMED INTO ROOM 12, 9' CEILING MINIMUM. CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
 - 29 TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
 - 30 FURRED WALL
 - 31 SOUND INSULATED WALL
 - 32 BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
 - 33 STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN STEEL AND EXTERIOR SHEATHING.
 - 34 EXTERIOR WALL - EITHER IN ATTIC OR ABOVE THE ROOF LINE, EXTERIOR SURFACE SHEATHED WITH OSB

- ### DWELLING ELECTRICAL / MECHANICAL NOTES
- A ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
 - B PEDESTAL SINK WITH KNEE SPACE, TOILET TO HAVE FUTURE GRAB BAR BLOCKING.
 - C MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
 - D SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
 - E LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
 - F PEDESTAL SINK DOES NOT REQUIRE KNEE SPACE, TOILET DOES NOT REQUIRE FUTURE GRAB BAR BLOCKING.
 - G 2 WAY COMMUNICATION, 1007.8

- ### TYPICAL DWELLING MATERIAL NOTES
1. ALL WINDOWS AND DOORS IN KITCHEN, LIVING AND DINING ROOMS (COMMON AREAS) HAVE JAMBS AND CASING OPENINGS. ALL WINDOWS AND DOORS IN PRIVATE ROOMS LIKE BEDROOMS HAVE GYPSUM JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
 2. ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
 3. ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 20" UNLESS OTHERWISE NOTED.
 4. ALL LOFT FLOOR DOORS ARE 20" UNLESS OTHERWISE NOTED.
 5. ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINKS. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
 6. ALL LINEN CLOSETS 20" DEEP MAX.
 7. ALL TUBS ARE 60x32", ALL SHOWERS ARE 48x36".
 8. PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING, NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.
 9. SFS 3621200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
 10. SMOKE DETECTION REQUIRED IN ALL BEDROOMS AND ONE IN THE PUBLIC SPACE OF THE DWELLING. AT LEAST ONE PER FLOOR.

SKYLINE TOWERS

| WOOD HEADER SCHEDULE | | | | | | |
|----------------------|----------------|----------|--------|----------------|------------|---------------------------|
| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAWN | 2 | 2 | |
| H4 | 2X12 | 3 | SAWN | 2 | 2 | |
| H5 | 1.75X11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5 1/2 X 11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5 1/2 X 14 | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4 X 18 | 1 | GLULAM | COLUMN BRACKET | | |

- ### ARCHITECTURAL PLAN NOTES:
- F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
 - C = CONTINUOUS HEADER
 - SEE FRAMING DETAILS ON SHEET A/4.3

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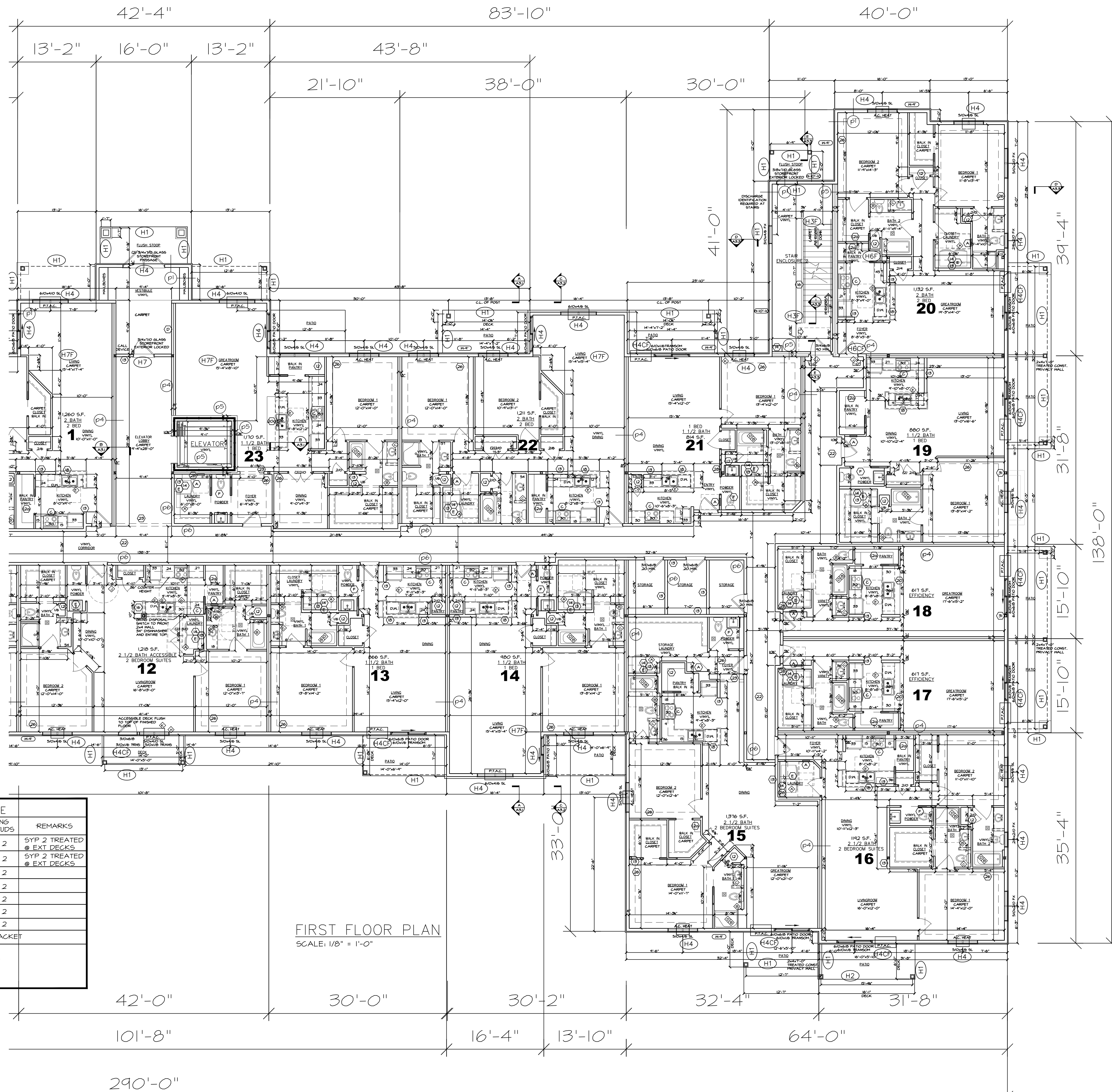
DATE: 4/28/2016

PROJECT NO. 461482

SHEET

A

2.1.2



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

| WOOD HEADER SCHEDULE | | | | | | |
|----------------------|----------------|----------|--------|------------|------------|---------------------------|
| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAWN | 2 | 2 | |
| H4 | 2X12 | 3 | SAWN | 2 | 2 | |
| H5 | 1.75X11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5 1/2 X 11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5 1/2 X 14 | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4 X 18 | 1 | GLULAM | | | COLUMN BRACKET |

ARCHITECTURAL PLAN NOTES:
 • F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
 • C = CONTINUOUS HEADER
 • SEE FRAMING DETAILS ON SHEET A/4.3

- DWELLING UNIT PLAN NOTES**
- 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 1 HOUR FINISH RATED CEILING.
 - 1 HOUR RATED WALL ASSEMBLY.
 - 1 HOUR RATED WALL ASSEMBLY.
 - 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 1 HOUR RATED COLUMN COVERS.
 - 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 2 HOUR RATED WALL ASSEMBLY
 - 2 HOUR CAP SYSTEM.
 - 2 HOUR SHAFT WALL ASSEMBLY
 - STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
 - STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 2X6 INTERIOR WALL
 - SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"X30" CABINET. FLOOR COVERING TRANSITION LINE.
 - 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVES. IBC 905.3.1, CONFORM WITH FIRE DEPARTMENT.
 - 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK. 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK. SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - ACOUSTIC CEILING DROPPED TO 8" A.F.F.
 - 6" WIDE GYPSUM SOFFIT DROPPED TO 8" A.F.F.
 - ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A4.2
 - 9' FLAT CEILING, FLOOR ABOVE
 - TREY DROPPED 8" AND FRAMED INTO ROOM 12". 9' CEILING MINIMUM. CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
 - TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
 - FURRED WALL
 - SOUND INSULATED WALL
 - BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
 - STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN EXTERIOR WALL, EITHER IN ATTIC OR ABOVE THE ROOF LINE. EXTERIOR SURFACE SHEATHED WITH OSB

- DWELLING ELECTRICAL / MECHANICAL NOTES**
- ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR
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 - MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
 - SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
 - LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
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 - 2 WAY COMMUNICATION, 100T.8

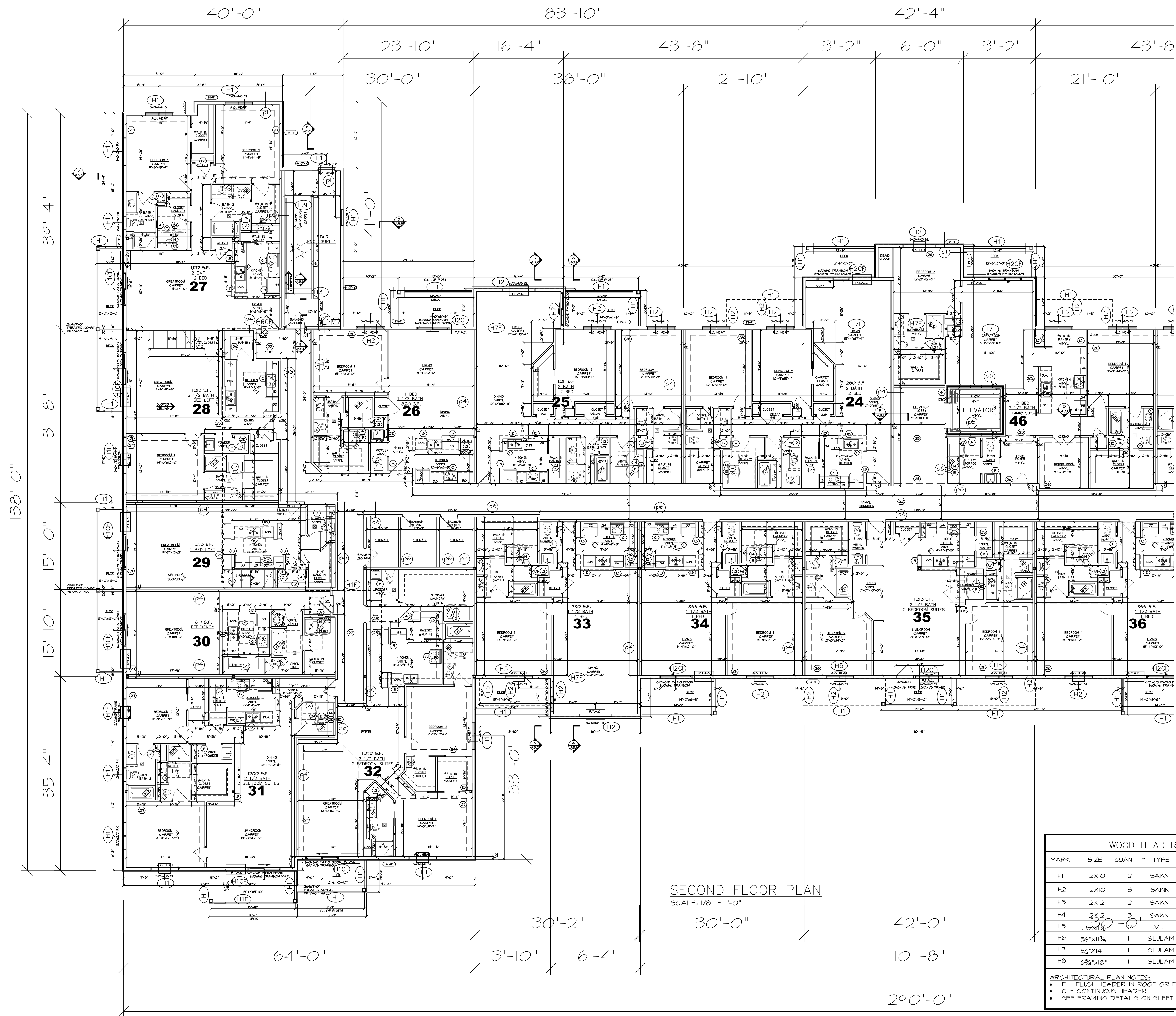
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 - ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
 - ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 3/8 UNLESS OTHERWISE NOTED.
 - ALL LOFT FLOOR DOORS ARE 3/8 UNLESS OTHERWISE NOTED.
 - ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
 - ALL LINEN CLOSETS 20" DEEP MAX.
 - ALL TUBS ARE 60x32". ALL SHOWERS ARE 48x36".
 - PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING. NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD
 - SP5 362.1200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
 - SMOKE DETECTION REQUIRED IN ALL BEDROOMS AND ONE IN THE PUBLIC SPACE OF THE DWELLING. AT LEAST ONE PER FLOOR.

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2.1.3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- ### DWELLING UNIT PLAN NOTES
- 1 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 2 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 3 1 HOUR FINISH RATED CEILING.
 - 4 1 HOUR RATED WALL ASSEMBLY.
 - 5 1 HOUR RATED FLOOR ASSEMBLY.
 - 6 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 7 1 HOUR RATED COLUMN COVERS.
 - 8 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 9 2 HOUR RATED WALL ASSEMBLY
 - 10 2 HOUR CAP SYSTEM.
 - 11 2 HOUR SHAFT WALL ASSEMBLY
 - 12 STACK OF (4) 12" DEEP SHELVES, START AT 42" A.F.F. THEN 14" O.C.
 - 13 STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 14 2X6 INTERIOR WALL
 - 15 SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET.
 - 16 FLOOR COVERING TRANSITION LINE.
 - 17 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 18 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 19 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 20 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVES. IBC 905.3.1, CONFORM WITH FIRE DEPARTMENT.
 - 21 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK. 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 22 SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - 23 ACOUSTIC CEILING DROPPED TO 8' A.F.F.
 - 24 6" WIDE GYPSUM SOFFIT DROPPED TO 8' A.F.F.
 - 25 ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A4.2
 - 26 9' FLAT CEILING, FLOOR ABOVE
 - 27 TREY DROPPED 8" AND FRAMED INTO ROOM 12". 9' CEILING MINIMUM, CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
 - 28 TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
 - 29 FURRED WALL
 - 30 SOUND INSULATED WALL
 - 31 BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
 - 32 STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN STEEL AND EXTERIOR SHEATHING.
 - 33 EXTERIOR WALL - EITHER IN ATTIC OR ABOVE THE ROOF LINE, EXTERIOR SURFACE SHEATHED WITH OSB

- ### DWELLING ELECTRICAL / MECHANICAL NOTES
- A ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
 - B PEDESTAL SINK WITH KNEE SPACE, TOILET TO HAVE FUTURE GRAB BAR BLOCKING.
 - C MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
 - D SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
 - E LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
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 - G 2 WAY COMMUNICATION, 1007.B

- ### TYPICAL DWELLING MATERIAL NOTES
1. ALL WINDOWS AND DOORS IN KITCHEN, LIVING AND DINING ROOMS (COMMON AREAS) HAVE JAMBS AND CASED OPENINGS. ALL WINDOWS AND DOORS IN PRIVATE ROOMS LIKE BEDROOMS HAVE GYPSUM JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
 2. ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
 3. ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 3 UNLESS OTHERWISE NOTED
 4. ALL LOFT FLOOR DOORS ARE 3 UNLESS OTHERWISE NOTED.
 5. ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
 6. ALL LINEN CLOSETS 20" DEEP MAX.
 7. ALL TUBS ARE 60x32", ALL SHOWERS ARE 48x36".
 8. PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING. NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.
 9. SPS 362.1200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
 10. SMOKE DETECTION REQUIRED IN ALL BEDROOMS AND ONE IN THE PUBLIC SPACE OF THE DWELLING. AT LEAST ONE PER FLOOR.

SKYLINE TOWERS

| WOOD HEADER SCHEDULE | | | | | | |
|----------------------|----------------|----------|--------|----------------|------------|---------------------------|
| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAWN | 2 | 2 | |
| H4 | 2X12 | 3 | SAWN | 2 | 2 | |
| H5 | 1.75x11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5 1/2 x 11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5 1/2 x 14 | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4 x 18 | 1 | GLULAM | COLUMN BRACKET | | |

- ### ARCHITECTURAL PLAN NOTES:
- F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
 - C = CONTINUOUS HEADER
 - SEE FRAMING DETAILS ON SHEET A/4.3

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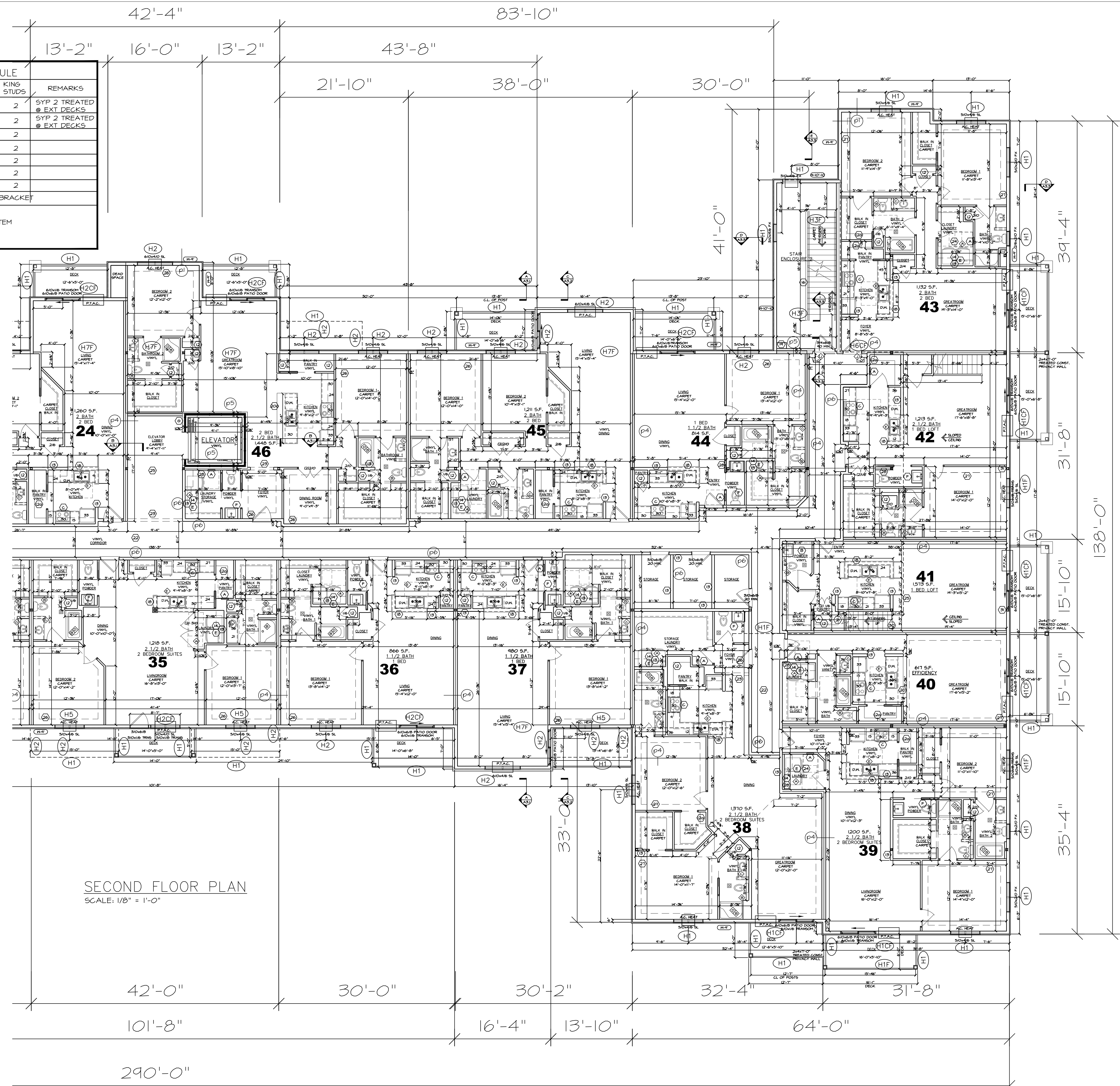
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| WOOD HEADER SCHEDULE | | | | | | |
|----------------------|---------------|----------|--------|------------|------------|---------------------------|
| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
| H1 | 2X10 | 2 | SAVN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAVN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAVN | 2 | 2 | |
| H4 | 2X12 | 3 | SAVN | 2 | 2 | |
| H5 | 1.75X11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5 1/2"X11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5 1/2"X14" | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4"X18" | 1 | GLULAM | | | COLUMN BRACKET |

ARCHITECTURAL PLAN NOTES:
 F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
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 SEE FRAMING DETAILS ON SHEET A/4.3



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

- ### DWELLING UNIT PLAN NOTES
- 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 1 HOUR FINISH RATED CEILING.
 - 1 HOUR RATED WALL ASSEMBLY.
 - 1 HOUR RATED WALL ASSEMBLY.
 - 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 1 HOUR RATED COLUMN COVERS.
 - 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 2 HOUR RATED WALL ASSEMBLY
 - 2 HOUR CAP SYSTEM.
 - 2 HOUR SHAFT WALL ASSEMBLY
 - STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
 - STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 2X6 INTERIOR WALL.
 - SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"X30" CABINET. FLOOR COVERING TRANSITION LINE.
 - 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVE. IBC 905.3.1, CONFIRM WITH FIRE DEPARTMENT.
 - 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK, 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - ACOUSTIC CEILING DROPPED TO 8" A.F.F.
 - 6" WIDE GYPSUM SOFFIT DROPPED TO 8" A.F.F.
 - ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A.4.2
 - 9' FLAT CEILING, FLOOR ABOVE
 - TREY DROPPED 8" AND FRAMED INTO ROOM 12". 9' CEILING MINIMUM. CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
 - TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
 - FURRED WALL
 - SOUND INSULATED WALL
 - BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
 - STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN STEEL AND EXTERIOR SHEATHING.
 - EXTERIOR WALL - EITHER IN ATTIC OR ABOVE THE ROOF LINE. EXTERIOR SURFACE SHEATHED WITH OSB

- ### DWELLING ELECTRICAL / MECHANICAL NOTES
- ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
 - PEDESTAL SINK WITH KNEE SPACE, TOILET TO HAVE FUTURE GRAB BAR BLOCKING.
 - MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
 - SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
 - LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
 - PEDESTAL SINK DOES NOT REQUIRE KNEE SPACE, TOILET DOES NOT REQUIRE FUTURE GRAB BAR BLOCKING.
 - 2 WAY COMMUNICATION, 100T.8

- ### TYPICAL DWELLING MATERIAL NOTES
- ALL WINDOWS AND DOORS IN KITCHEN, LIVING AND DINING ROOMS (COMMON AREAS) HAVE JAMBS AND CASED OPENINGS. ALL WINDOWS AND DOORS IN PRIVATE ROOMS LIKE BEDROOMS HAVE GYPSUM JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
 - ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
 - ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 8' UNLESS OTHERWISE NOTED.
 - ALL LOFT FLOOR DOORS ARE 8' UNLESS OTHERWISE NOTED.
 - ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH WOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
 - ALL LINEN CLOSETS 20" DEEP MAX.
 - ALL TUBS ARE 60x32". ALL SHOWERS ARE 48x36".
 - PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING, NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.
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SKYLINE TOWERS

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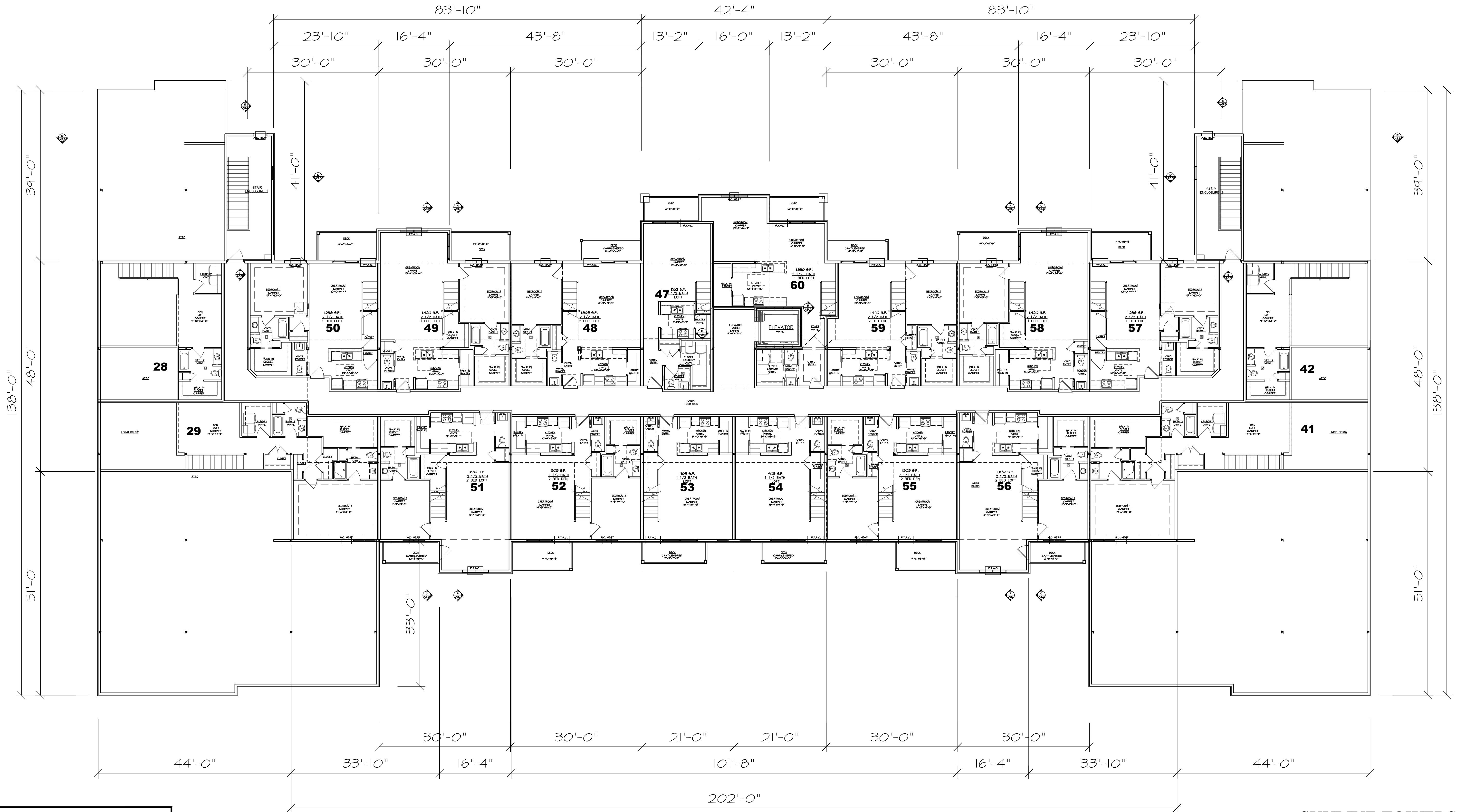
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81st. STREET



TYPICAL FIRE RATED STRUCTURES NOTES

1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6x16" O.C., UNLESS OTHERWISE NOTED.
2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x @ 24" O.C., UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED, U.O.N.
3. NO DRAFTSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED, RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 1B-1 CHANNEL ON CEILINGS WHERE SEPARATING A DWELLING ABOVE, U.O.N.
6. THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 1B-1 CHANNEL ON CEILINGS WHERE SEPARATING A DWELLING ABOVE, U.O.N.
7. LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED, RESILIENT CHANNEL FOR CEILING, U.O.N.
8. STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED GYPSUM SHAFT WALL SYSTEM ENDING AT TWO HOUR CAP.
9. ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
10. IBC 703.6 SHAFT WALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STENCILING.

| UNIT COUNT | |
|-----------------------------|---------------------------|
| UNIT STYLE | NUMBER OF UNITS PER FLOOR |
| 2 BEDROOM 4 LOFT | 6 |
| 2 1/2 BATH 1 BEDROOM 4 LOFT | 5 |
| 1 1/2 BATH LOFT | 3 |

THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"
97th. COURT

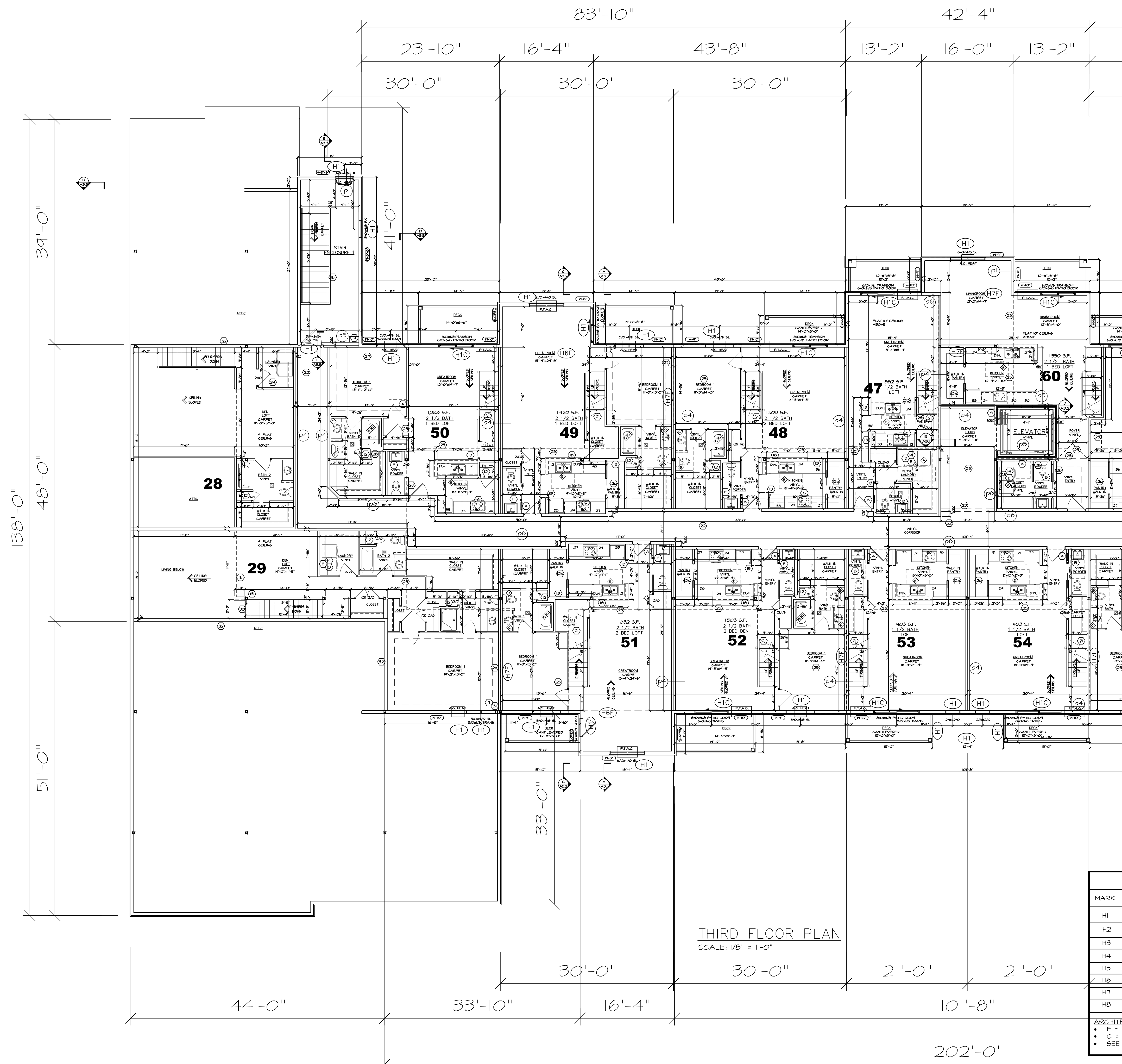
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

- ### DWELLING UNIT PLAN NOTES
- 1 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 2 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 3 1 HOUR FINISH RATED CEILING.
 - 4 1 HOUR RATED WALL ASSEMBLY.
 - 5 1 HOUR RATED WALL ASSEMBLY.
 - 6 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 7 1 HOUR RATED COLUMN COVERS.
 - 8 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 9 2 HOUR RATED WALL ASSEMBLY
 - 10 2 HOUR GAP SYSTEM.
 - 11 2 HOUR SHAFT WALL ASSEMBLY
 - 12 STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
 - 13 STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 14 2X6 INTERIOR WALL
 - 15 SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET.
 - 16 FLOOR COVERING TRANSITION LINE.
 - 17 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 18 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 19 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 20 1"9"x10" ENCLOSED STANDPIPE. 12"x24" CABINET FRONT AT VALVES. IBC 905.3.1. CONFIRM WITH FIRE DEPARTMENT.
 - 21 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK. 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 22 SLOPED CEILING DROPPED STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - 23 ACOUSTIC CEILING UNDER STAIR TO 8' A.F.F.
 - 24 6" WIDE GYPSUM SOFFIT DROPPED TO 8' A.F.F.
 - 25 ATTIC SCUTTLE PANEL IN CEILING, SEE 5/A4.2
 - 26 9' FLAT CEILING, FLOOR ABOVE
 - 27 TREY DROPPED 8" AND FRAMED INTO ROOM 12" 9' CEILING MINIMUM. CEILING FOR ALL BEDROOMS WITH 1" MINIMUM WIDTH.
 - 28 TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
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 9. SP5 362.1200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
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WOOD HEADER SCHEDULE

| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
|------|----------------|----------|--------|----------------|------------|---------------------------|
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
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| H6 | 5 1/2 X 11 1/2 | 1 | GLULAM | 2 | 2 | |
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 - C = CONTINUOUS HEADER
 - SEE FRAMING DETAILS ON SHEET A/4.3

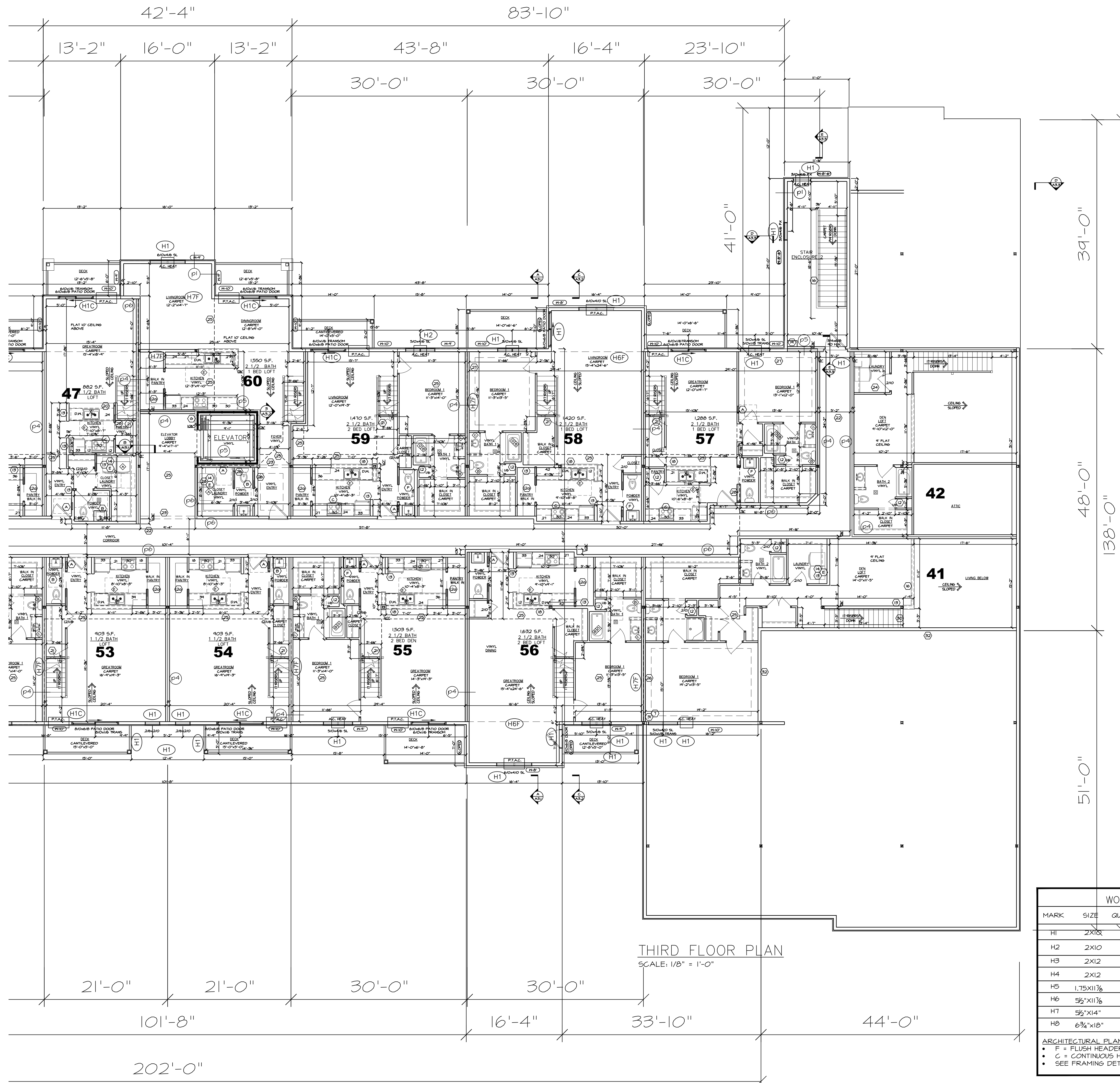
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
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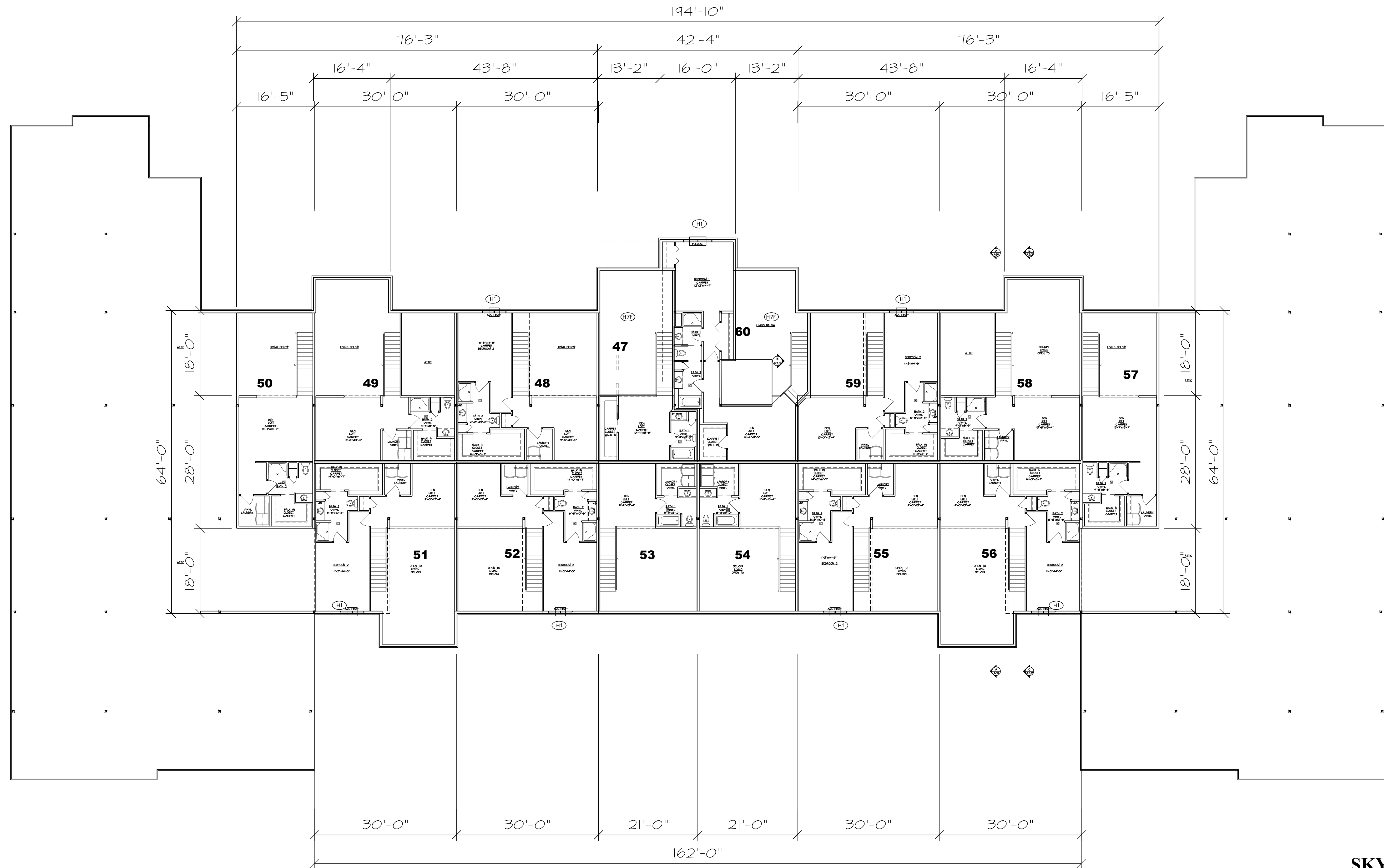
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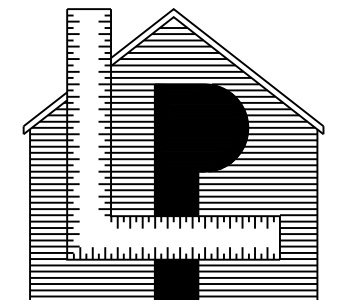
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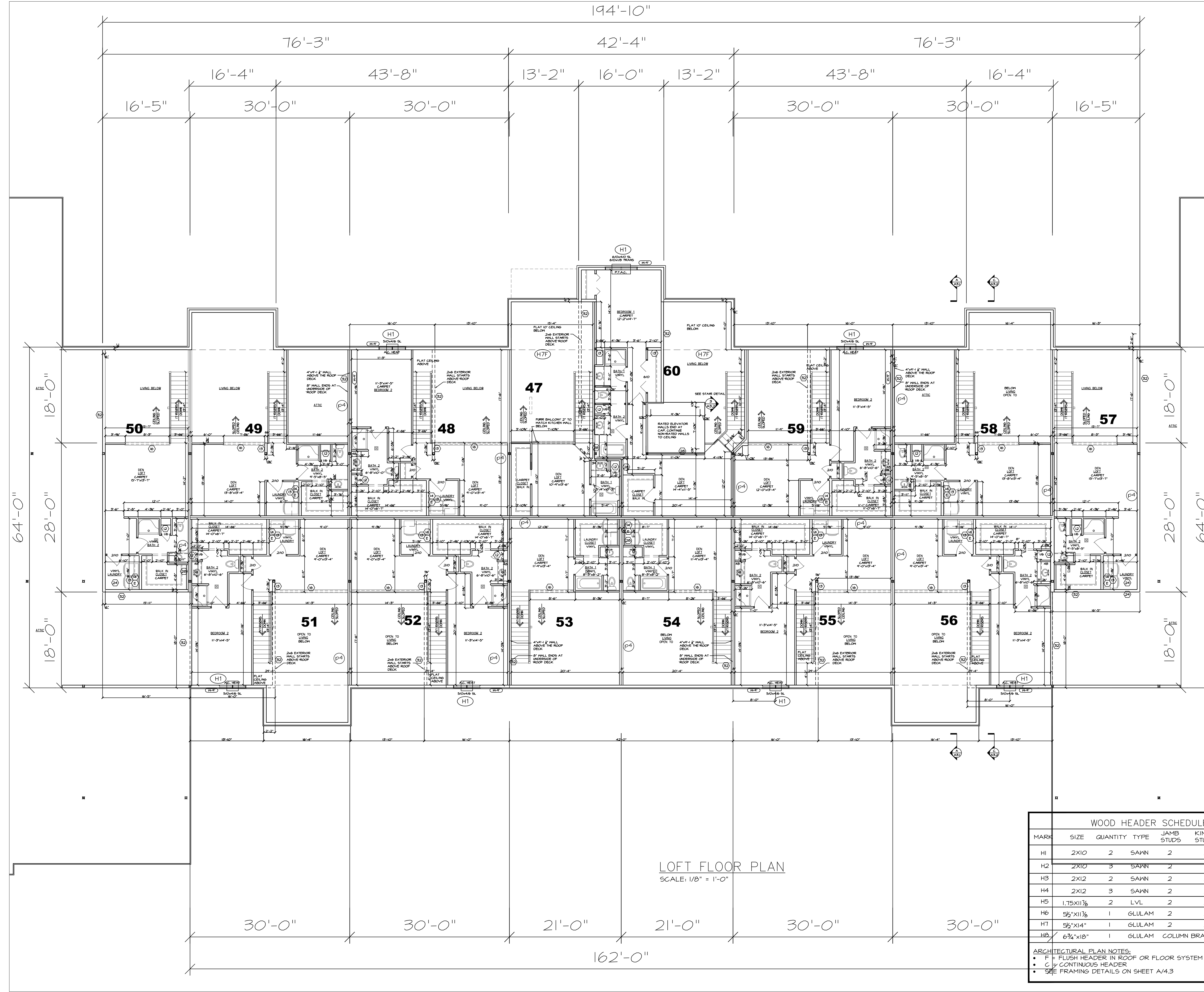
81st. STREET



LOFT FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 97th. COURT

SKYLINE TOWERS

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LOFT FLOOR PLAN
SCALE: 1/8" = 1'-0"

- ### DWELLING UNIT PLAN NOTES
- 1 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND FURRING CHANNELS AT 24" O.C.
 - 2 1 HOUR RATED HORIZONTAL ASSEMBLY WITH GYPCRETE TOPPING, BIB INSULATION AND RESILIENT CHANNELS AT 16" O.C.
 - 3 1 HOUR FINISH RATED CEILING.
 - 4 1 HOUR RATED WALL ASSEMBLY.
 - 5 1 HOUR RATED WALL ASSEMBLY.
 - 6 1 HOUR RATED EXTERIOR WALL RATED FROM THE INSIDE ONLY.
 - 7 1 HOUR RATED COLUMN COVERS.
 - 8 1 HOUR PROTECTION FOR PRIMARY LOAD BEARING STEEL POSTS
 - 9 2 HOUR RATED WALL ASSEMBLY
 - 10 2 HOUR CAP SYSTEM.
 - 11 2 HOUR SHAFT WALL ASSEMBLY
 - 12 STACK OF (4) 12" DEEP SHELVES, START AT 28" A.F.F. THEN 14" O.C.
 - 13 STACK OF 3 SHELVES, START AT 42" A.F.F. THEN 14" O.C. TO ALLOW ACCESSIBLE KNEE SPACE
 - 14 2x6 INTERIOR WALL
 - 15 SINGLE SHELF WITH POLE ABOVE LAUNDRY, 15"x30" CABINET. FLOOR COVERING TRANSITION LINE.
 - 16 2x4x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 17 2x6x3'-6" HEIGHT FROM TOP OF OSB DECK TO TOP PLATE. BRACED GUARD WALL WITH WOOD CAP AND CASING. FINISH BOTH SIDES OF CAP.
 - 18 2x6x3'-10" HEIGHT FROM TOP OF OSB DECK TO SINGLE TOP PLATE. BRACED WALL WITH LAMINATE TOP.
 - 19 1'-8"x10" ENCLOSED STANDPIPE, 12"x24" CABINET FRONT AT VALVES. IBC 905.3.1, CONFIRM WITH FIRE DEPARTMENT.
 - 20 3'-0" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 21 3'-6" DEEP COUNTER TOP - SNACK BAR, OPEN CABINET BACK.
 - 22 SLOPED CEILING UNDER STAIR. DOOR MAY HAVE STRINGER BEHIND.
 - 23 ACOUSTIC CEILING DROPPED TO 8' A.F.F.
 - 24 6" WIDE GYPSUM SOFFIT DROPPED TO 8' A.F.F.
 - 25 ATTIC SCUTTLE PANEL IN CEILING, SEE S/A4.2
 - 26 9' FLAT CEILINGS, FLOOR ABOVE
 - 27 TREY DROPPED 8" AND FRAMED INTO ROOM 12. 9' CEILING MINIMUM, CEILING FOR ALL BEDROOMS WITH 11" MINIMUM WIDTH.
 - 28 TREY BUILT UP ABOVE EXTERIOR WALL HEIGHT, 12" OUT AND 8" UP.
 - 29 FURRED WALL
 - 30 SOUND INSULATED WALL
 - 31 BEAM IN SPACE, WRAP IN GYPSUM AND PAINT
 - 32 STEEL COLUMN AND BEAM ABOVE, INSULATE ALL SPACE BETWEEN STEEL AND EXTERIOR SHEATHINGS.
 - 33 EXTERIOR WALL - EITHER IN ATTIC OR ABOVE THE ROOF LINE, EXTERIOR SURFACE SHEATHED WITH OSB

- ### DWELLING ELECTRICAL / MECHANICAL NOTES
- A ELECTRIC SERVICE PANEL LOCATION AND 30" MIN. x 36" CLEAR FLOOR SPACE.
 - B PEDESTAL SINK WITH KNEE SPACE, TOILET TO HAVE FUTURE GRAB BAR BLOCKING.
 - C MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
 - D SURFACE MOUNT ELECTRIC BASEBOARD HEAT.
 - E LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERING.
 - F PEDESTAL SINK DOES NOT REQUIRE KNEE SPACE, TOILET DOES NOT REQUIRE FUTURE GRAB BAR BLOCKING.
 - G 2 WAY COMMUNICATION, 1007.B

- ### TYPICAL DWELLING MATERIAL NOTES
1. ALL WINDOWS AND DOORS IN KITCHEN, LIVING AND DINING ROOMS (COMMON AREAS) HAVE JAMBS AND CASED OPENINGS. ALL WINDOWS AND DOORS IN PRIVATE ROOMS LIKE BEDROOMS HAVE GYPSUM JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
 2. ALL 3/0 UNIT ENTRY DOORS HAVE LOW PROFILE THRESHOLDS, 20 MIN. RATING
 3. ALL FLOORS SERVED BY THE ELEVATOR HAVE INTERIOR UNIT DOORS THAT ARE 3/0 UNLESS OTHERWISE NOTED.
 4. ALL LOFT FLOOR DOORS ARE 3/0 UNLESS OTHERWISE NOTED.
 5. ALL BATHROOM VANITY COUNTER TOPS ARE STONE WITH MOLDED SINK. ALL VANITIES ARE 42" WIDE U.O.N. SEE SHEET A/4.1 FOR TYPICAL TOILET PLAN DIMENSIONS AND BLOCKING.
 6. ALL LINEN CLOSETS 20" DEEP MAX.
 7. ALL TUBS ARE 60x32", ALL SHOWERS ARE 48x36".
 8. PERIMETER OF BUILDING DIMENSIONS ARE TO THE SHEATHING, NOTE EXTERIOR WALL IS LABELED AS 6". INTERIOR DIMENSIONS ARE STUD TO STUD.
 9. SPS 362.1200 CARBON MONOXIDE DETECTION AT COMBUSTION APPLIANCES.
 10. SMOKE DETECTION REQUIRED IN ALL BEDROOMS AND ONE IN THE PUBLIC SPACE OF THE DWELLING. AT LEAST ONE PER FLOOR.

WOOD HEADER SCHEDULE

| MARK | SIZE | QUANTITY | TYPE | JAMB STUDS | KING STUDS | REMARKS |
|------|----------------|----------|--------|------------|------------|---------------------------|
| H1 | 2X10 | 2 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H2 | 2X10 | 3 | SAWN | 2 | 2 | SYP 2 TREATED @ EXT DECKS |
| H3 | 2X12 | 2 | SAWN | 2 | 2 | |
| H4 | 2X12 | 3 | SAWN | 2 | 2 | |
| H5 | 1.75X11 1/2 | 2 | LVL | 2 | 2 | |
| H6 | 5 1/2 X 11 1/2 | 1 | GLULAM | 2 | 2 | |
| H7 | 5 1/2 X 14 | 1 | GLULAM | 2 | 2 | |
| H8 | 6 3/4 X 18 | 1 | GLULAM | | | COLUMN BRACKET |

ARCHITECTURAL PLAN NOTES:
 • F = FLUSH HEADER IN ROOF OR FLOOR SYSTEM
 • C = CONTINUOUS HEADER
 • SEE FRAMING DETAILS ON SHEET A/4.3

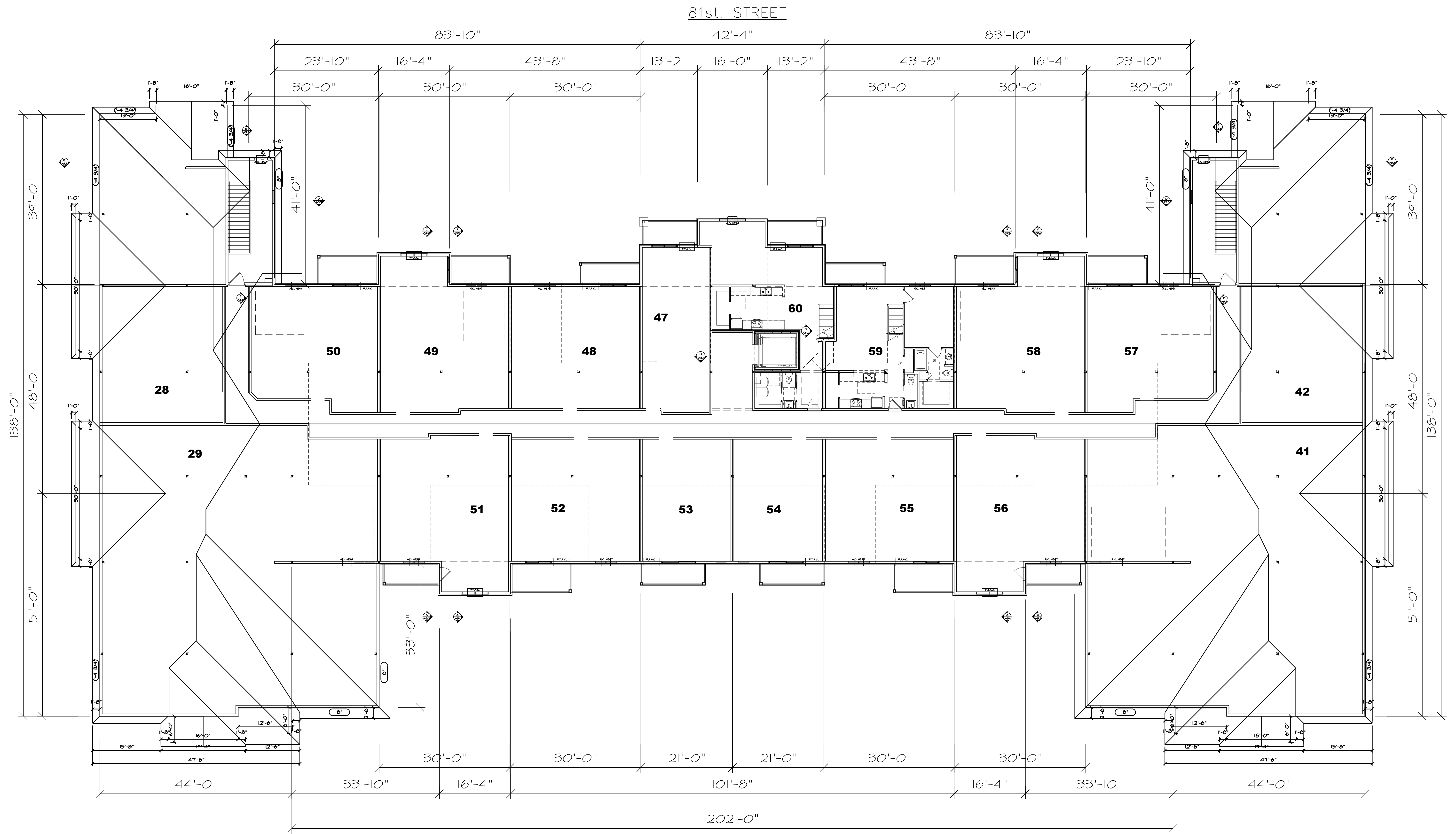
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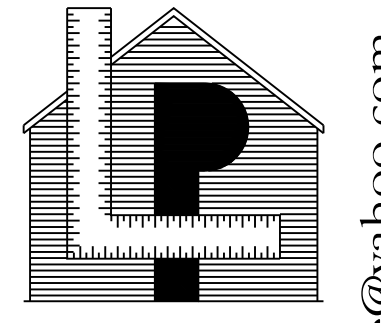
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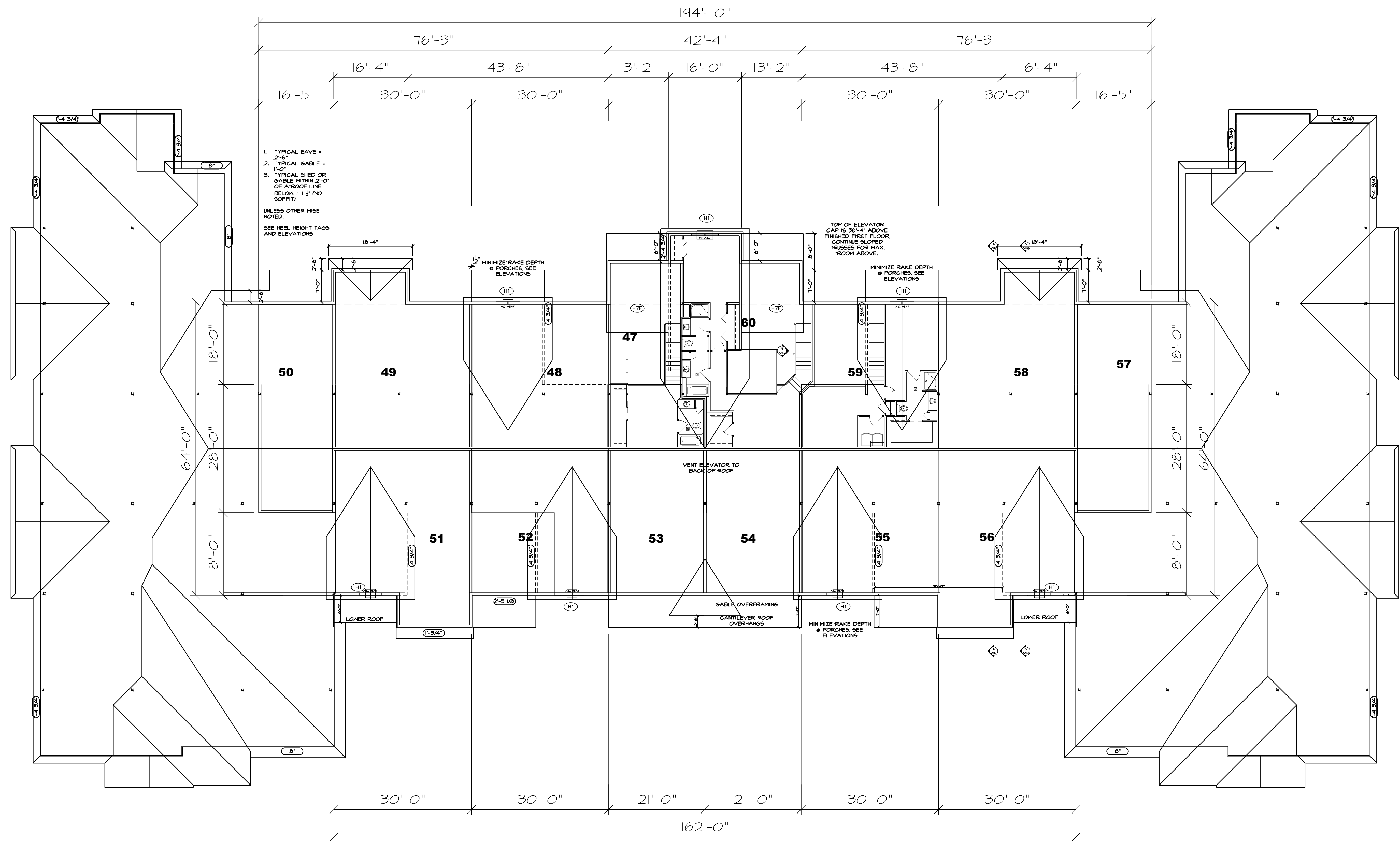
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LOWER ROOF PLAN
 SCALE: 3/32" = 1'-0"
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SKYLINE TOWERS

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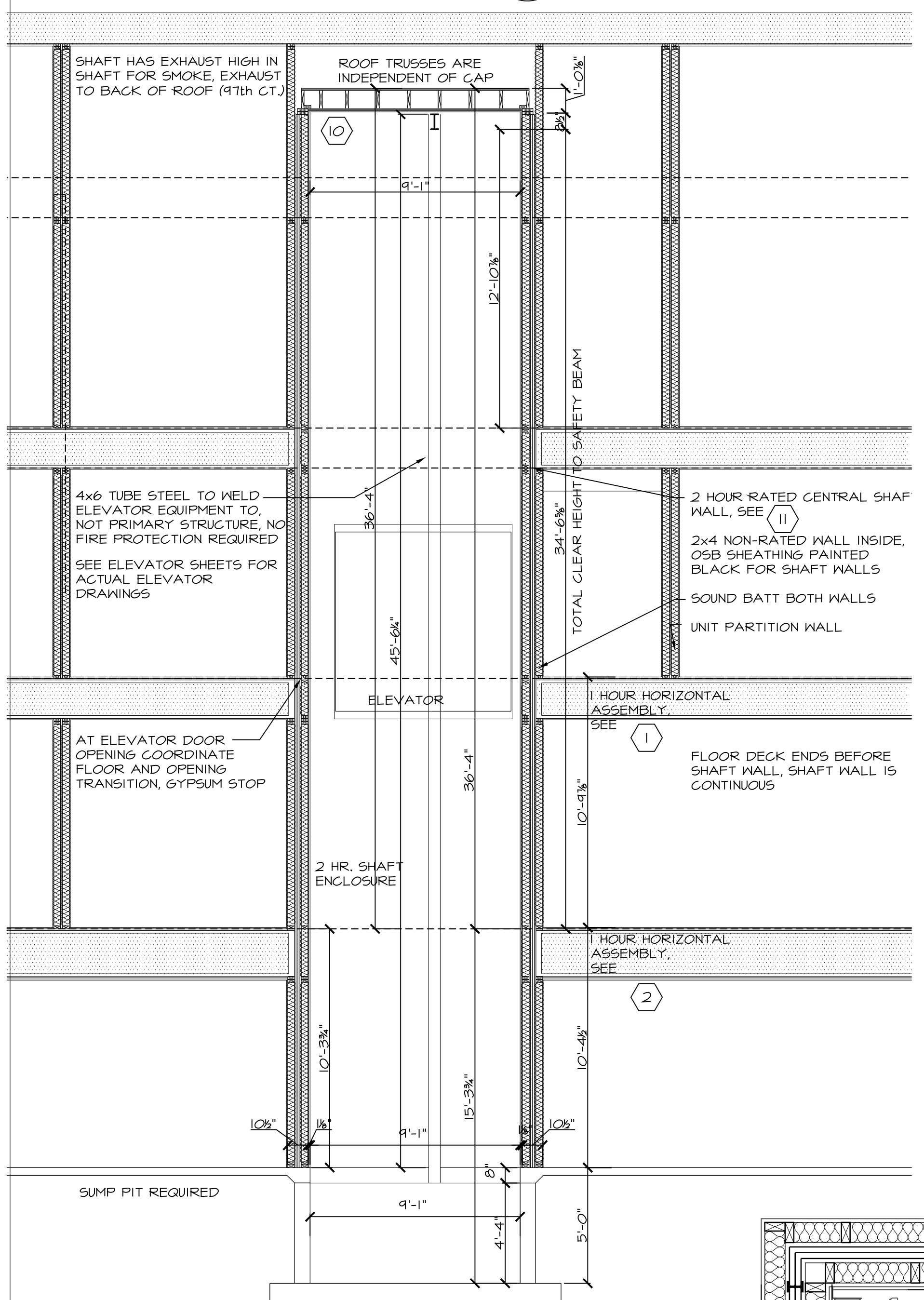
UPPER ROOF PLAN
 SCALE: 3/32" = 1'-0"

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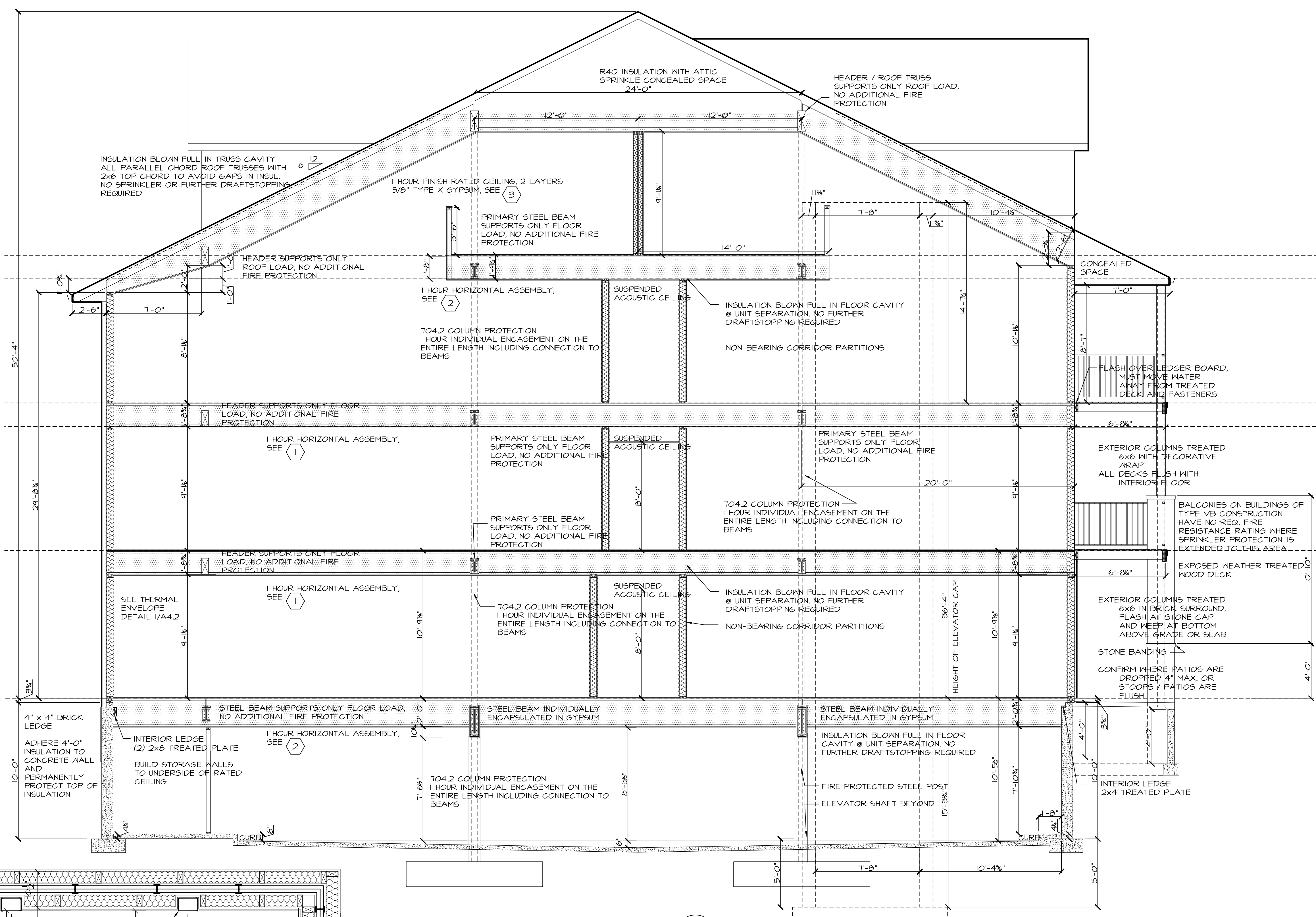
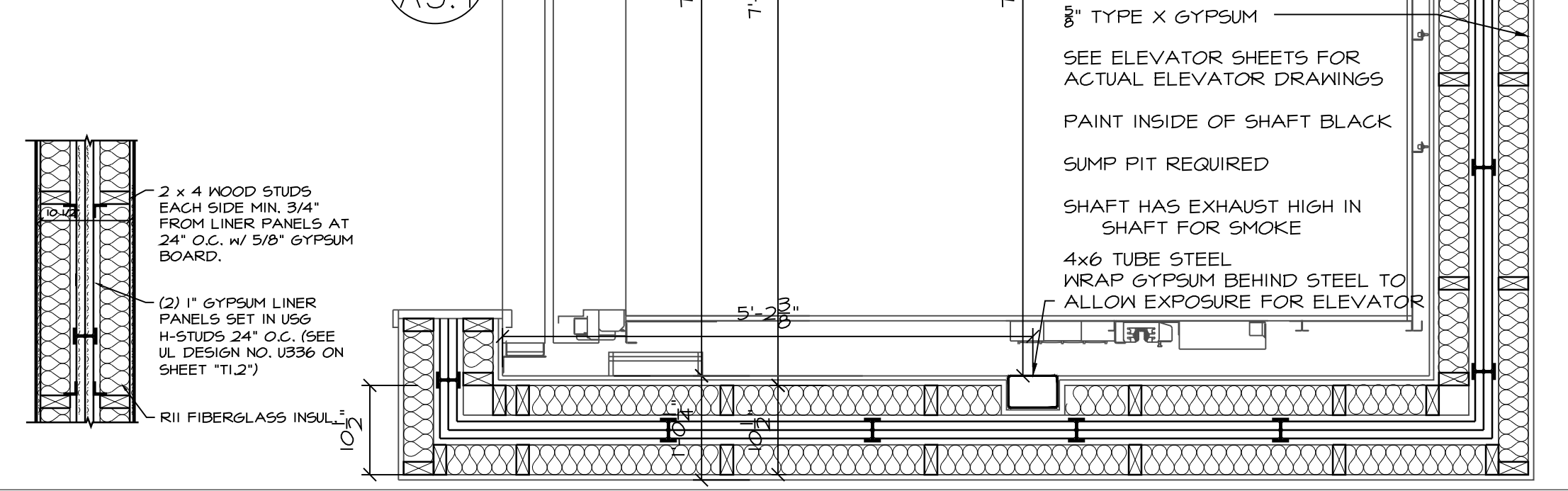
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| SHEET A 2.5.2 | |

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ELEVATOR SECTION B
SCALE: 1/4" = 1'-0"
A3.1



ELEVATOR PLAN
SCALE: 3/4" = 1'-0"
A3.1



BUILDING SECTION A
SCALE: 1/4" = 1'-0"
A3.1

- TYPICAL FIRE RATED STRUCTURES NOTES**
- ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6x16" O.C. UNLESS OTHERWISE NOTED.
 - ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x @ 24" O.C. UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED, U.O.N.
 - NO DRAFTSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
 - FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED. RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
 - SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED. IB-1 CHANNEL ON CEILINGS WHERE SEPARATING A DWELLING ABOVE, U.O.N.
 - THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED. IB-1 CHANNEL ON CEILINGS WHERE SEPARATING A DWELLING ABOVE, U.O.N.
 - LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED. RESILIENT CHANNEL FOR CEILING, U.O.N.
 - STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED GYPSUM SHAFT WALL SYSTEM ENDING AT TWO HOUR CAP.
 - ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
 - IBC 703.6 SHAFT WALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STENCILING.

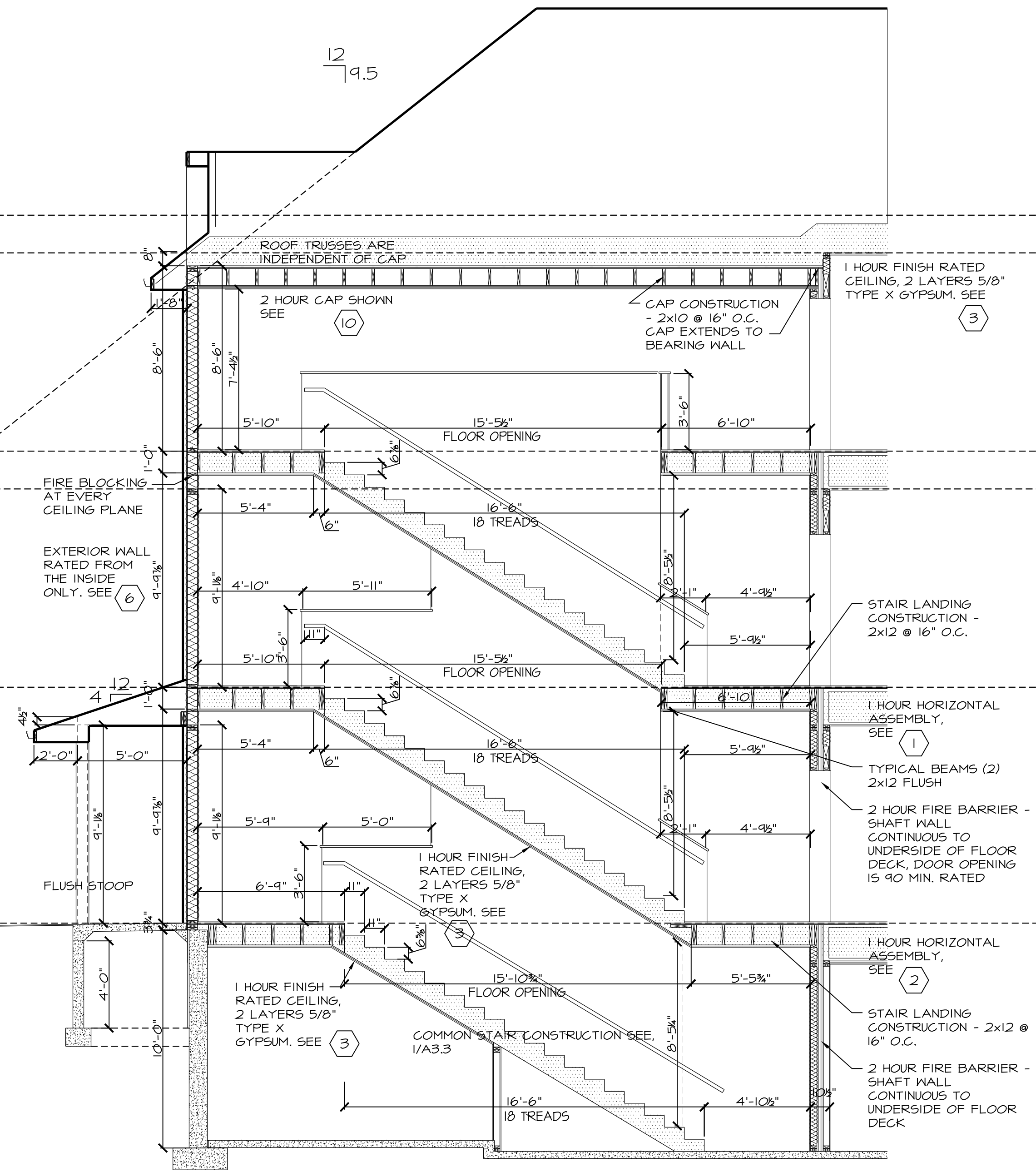
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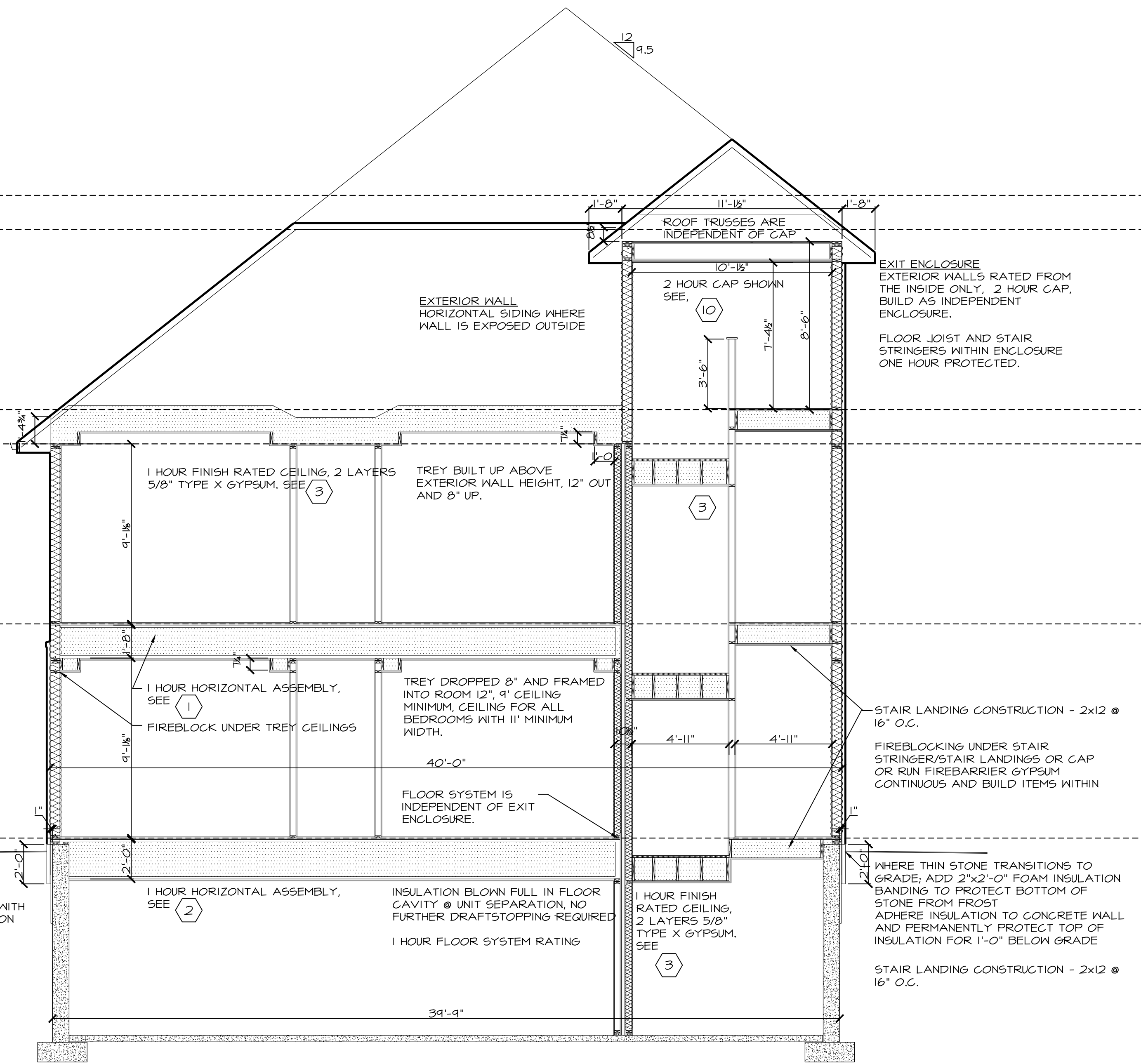
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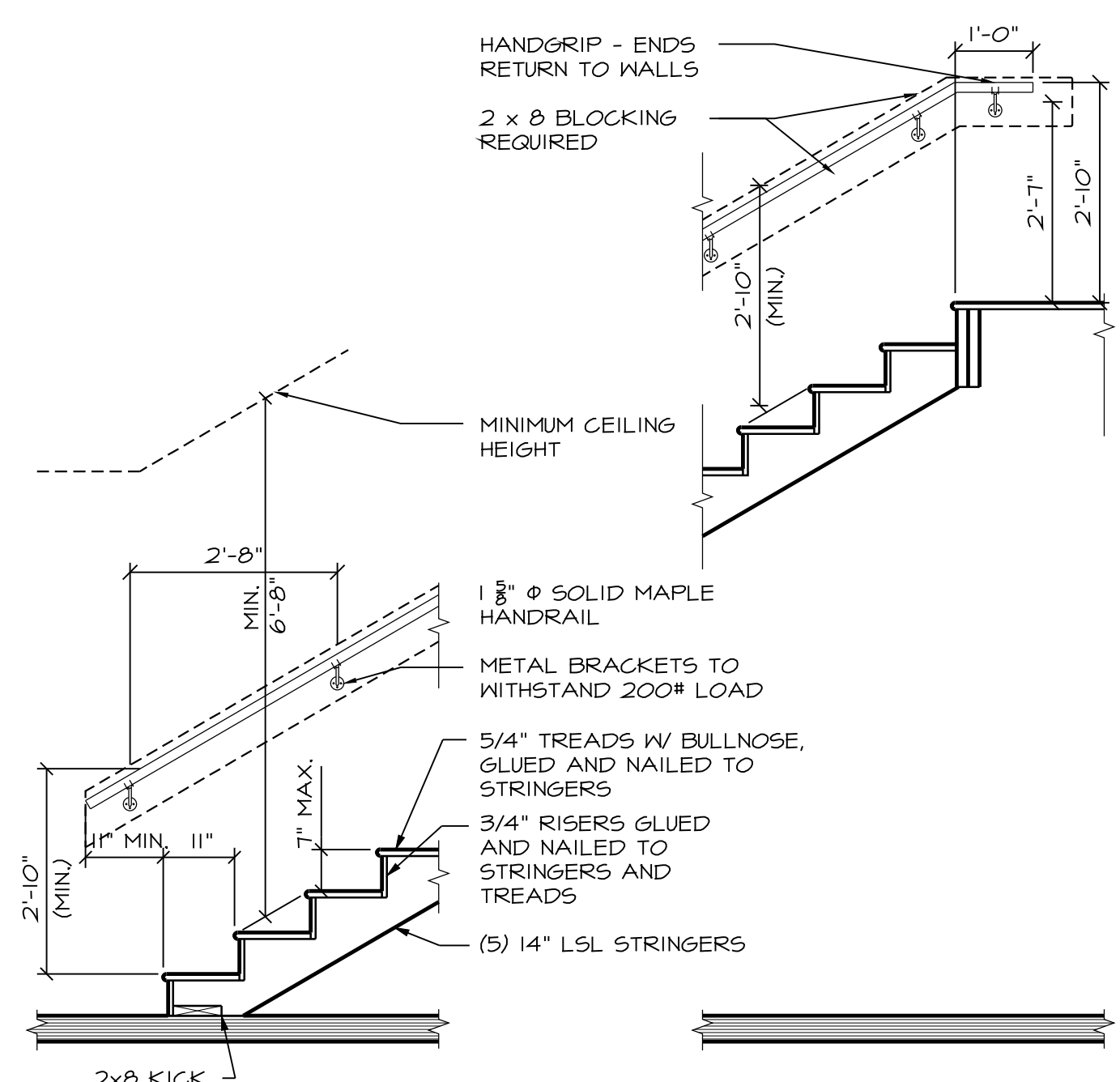
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BUILDING SECTION E
SCALE: 1/4" = 1'-0" A3.3



BUILDING SECTION D
SCALE: 1/4" = 1'-0" A3.3



COMMON STAIR TYPICAL DETAIL
SCALE: 1/2" = 1'-0" A3.3

GENERAL NOTES - COMMON STAIRS:

1. HEADROOM - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 8 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
2. TREADS AND RISERS - THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" DIFFERENCE BETWEEN THE SMALLEST AND LARGEST RISE OR BETWEEN THE SMALLEST AND LARGEST TREAD. STEPS SHALL HAVE A RISE OF NOT MORE THAN 7 INCHES. STEPS SHALL NOT HAVE A TREAD LESS THAN 11 INCHES.
3. HANDRAIL DETAILS - THE TOP OF A HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34 AND 38 INCHES ABOVE THE NOSING OF THE TREADS ON STAIRWAYS. HALF-WALLS IN NONDwELLING UNIT PORTIONS OF BUILDING SHALL EXTEND AT LEAST 42 INCHES ABOVE THE FINISHED FLOOR.
4. HAND GRIP DIMENSIONS - HANDRAILS ARE TO HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES MINIMUM TO 2 INCHES. IF HAND RAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
5. WALL CLEARANCE - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
6. LOADING - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR TO RESIST 50 POUNDS PER LINEAR FOOT APPLIED TO THE TOP.
7. TYPICAL STAIR CONSTRUCTION - (4) 1 1/2" LSL STRINGERS, 1 x 8 RISERS, AND 5/4 BULL NOSE TREADS.
8. EXTENSIONS - HANDRAILS SHALL RETURN BACK TO THE WALL. RAILS ARE TO EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

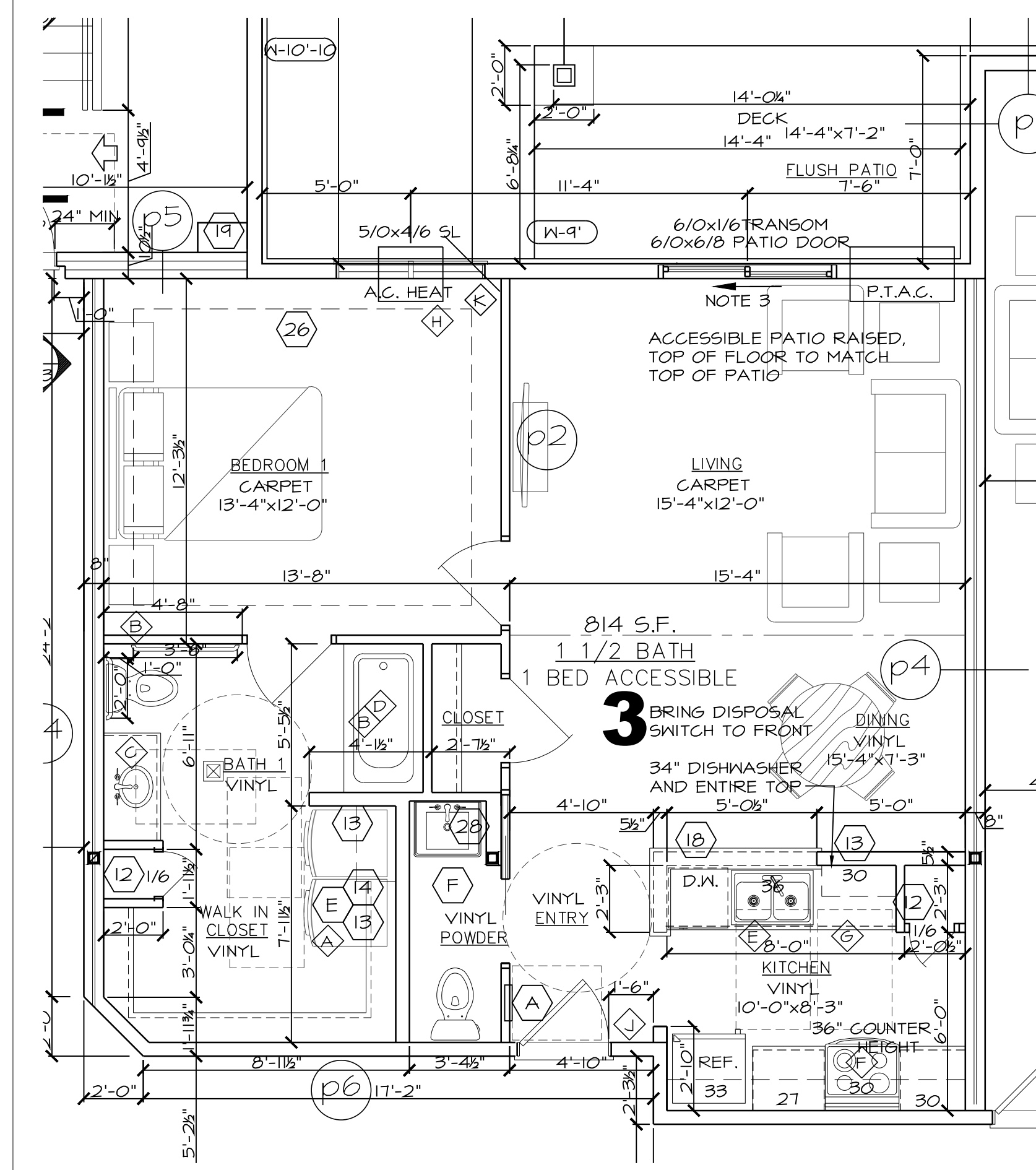
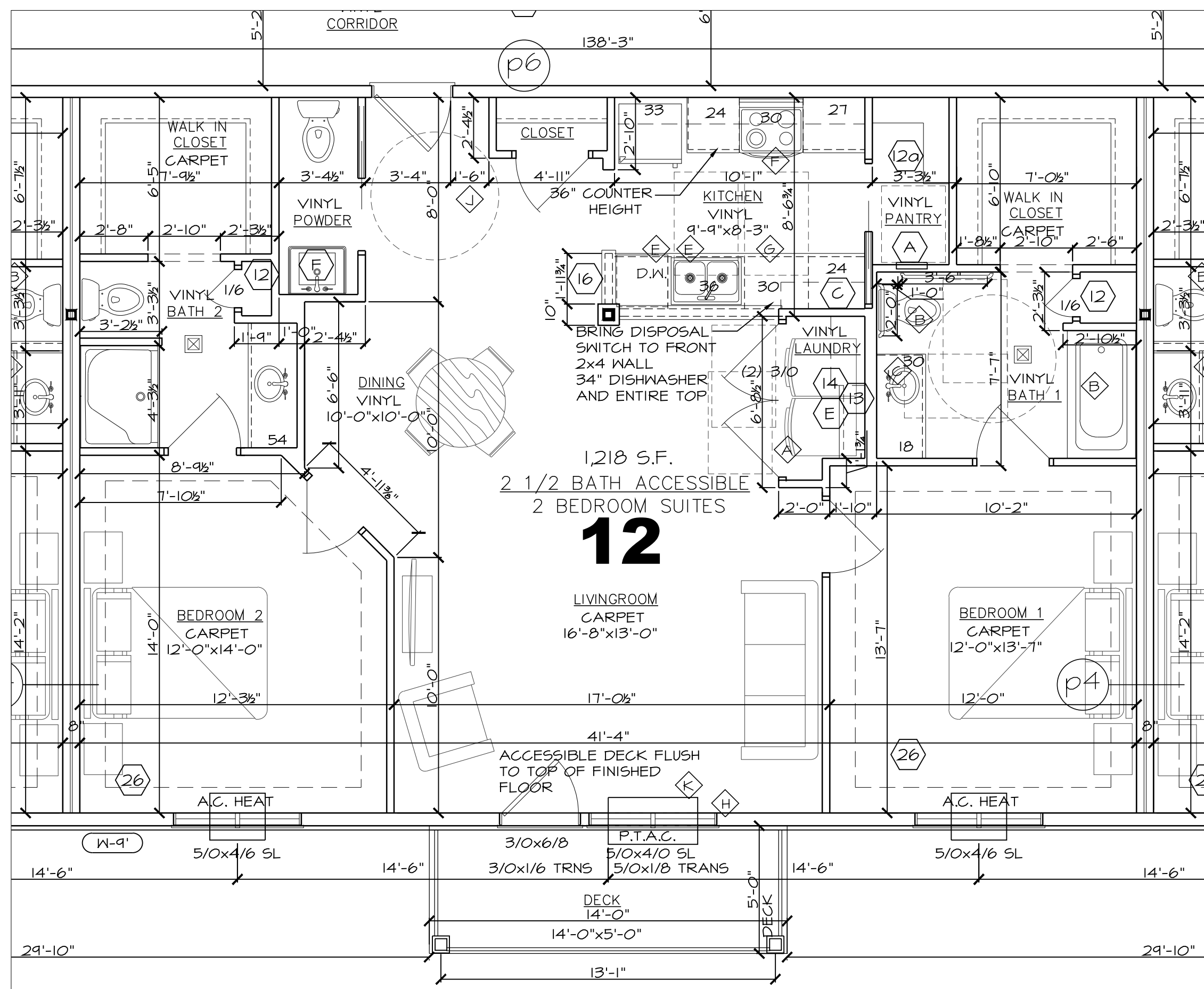
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R-2, TYPE "A" AND "B" UNIT NOTES:

GENERAL NOTES (SEE SHEET A3.1 FOR MOUNTING HEIGHTS)

TYPE "A" UNITS SHALL COMPLY WITH ICC/ANSI A117.1-2003; SECTION 1003 TYPE "B" UNITS SHALL COMPLY WITH ICC/ANSI A117.1-2003; SECTION 1004

- ICC/IBC-2009; SEC 107.6.2.1.1 - (APARTMENT HOUSES) TYPE "A" UNITS OR IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST TWO (2) PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE "A" UNIT. ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE "A" UNITS. ACCESSIBLE GARAGE COUNTS ARE BASED ON THE NUMBER OF ACCESSIBLE UNITS.
- ICC/IBC-2009; SEC 107.7.1.1.1 - TYPE "B" UNITS - AT LEAST ONE STORY SHALL BE PROVIDED WITH AN ACCESSIBLE ENTRANCE AND ALL UNITS SHALL BE TYPE "B" UNITS. FIRST FLOOR IS ACCESSIBLE AND ALL DOORS WITH LOW PROFILE THRESHOLD.
- ICC/ANSI A117.1-2003; SEC. 1003.5.1 - PRIMARY ENTRANCE AND PASSAGE DOORS AND DOORWAYS SHALL HAVE A 32" MIN. CLEAR WIDTH MEASURED FROM THE JAMB TO THE FACE OF THE OPEN DOOR, WITH THE DOOR OPEN 90°, AND ADA COMPLIANT THRESHOLDS. TYPE "A" UNITS SHALL ALSO HAVE ADA COMPLIANT LEVER HARDWARE, OPENING FORCE, BOTTOM DOOR SURFACE, VISION LITE AND MANEUVERING CLEARANCES. TYPE "B" - MANEUVERING CLEARANCES ARE ONLY REQUIRED ON THE OUTSIDE (CORRIDOR SIDE) OF THE PRIMARY ENTRANCE. EXCEPTION- IN BOTH "A" AND "B" UNITS - EXTERIOR SLIDING PATIO DOORS ARE TO HAVE A CLEAR OPENING OF 34" NOMINALLY, A 3/4" MAX. THRESHOLD IS ALLOWED PROVIDED THEY ARE BEVELED WITH A SLOPE NOT GREATER THAN 1:2.

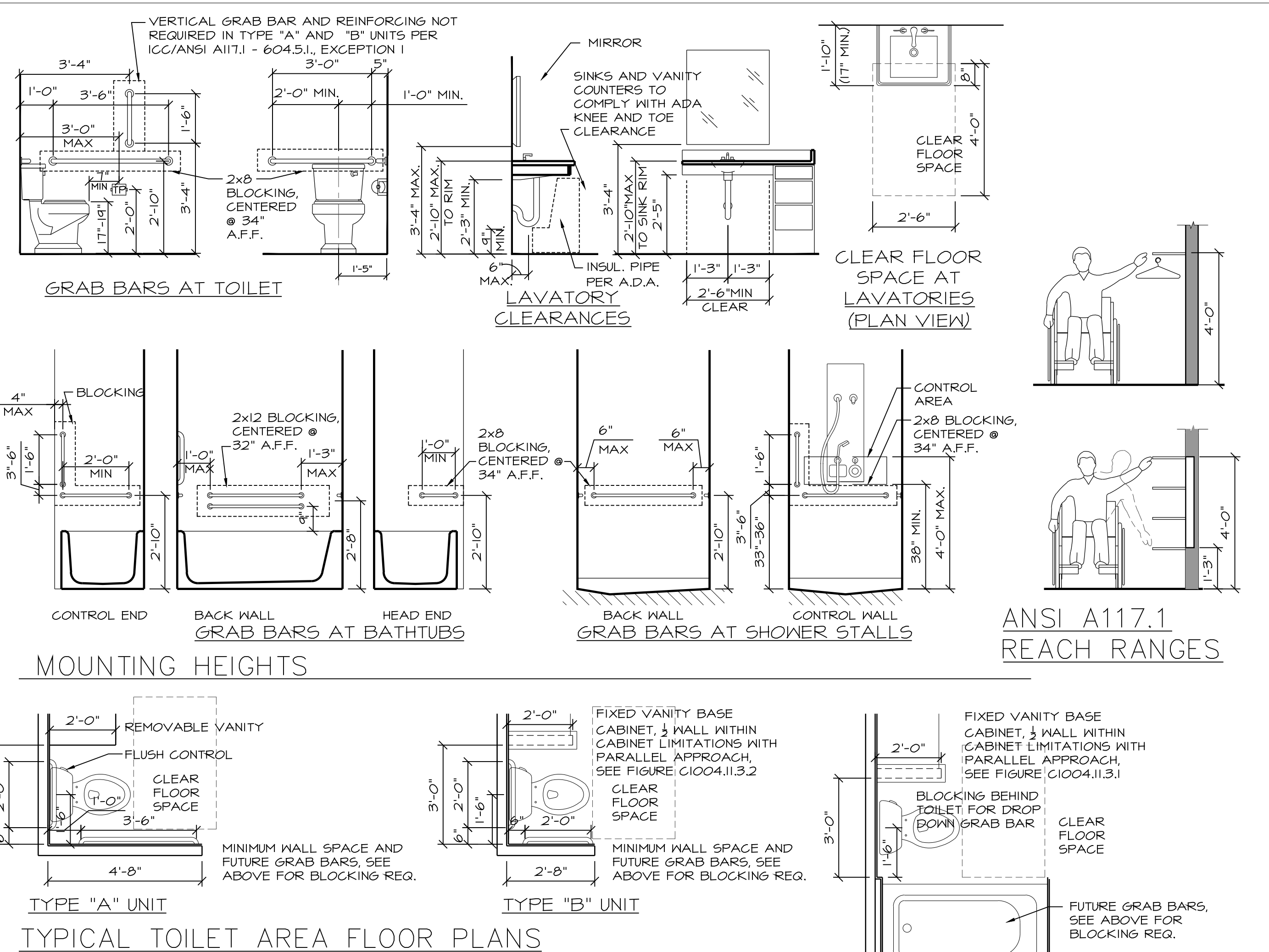
ICC/ANSI A117.1-2003; SEC. 404 - TYPE "A" UNITS - DOOR HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" A.F.F., MIN. AND 48" A.F.F., MAX.

62.101 PROVIDE LEVER DOOR HANDLES OR SINGLE LEVER CONTROLS FOR PLUMBING FIXTURES AT REQUEST OF TENANT.

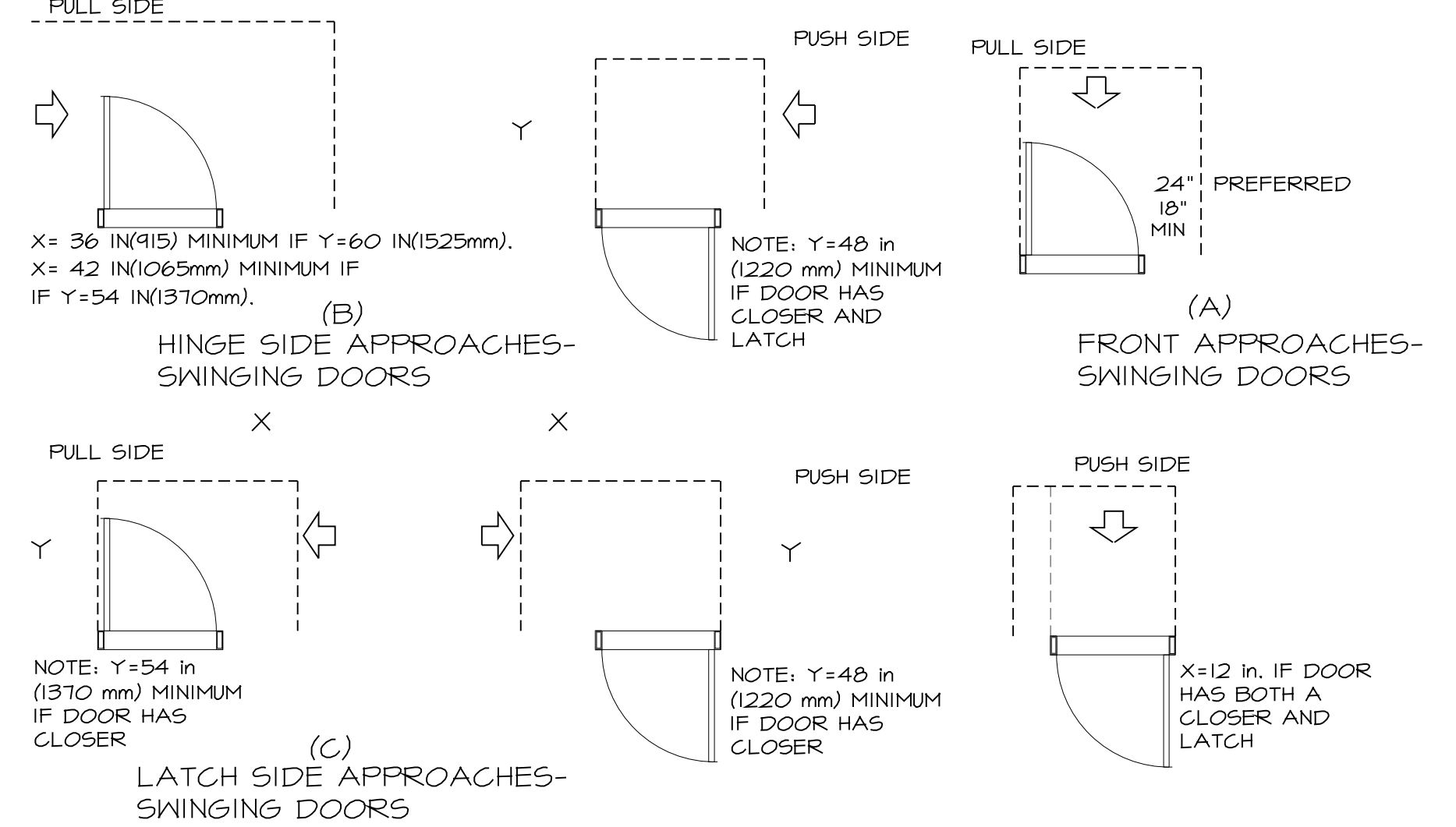
- ICC/ANSI A117.1-2003; SEC. 1003.9 & 1004.4 - OPERABLE PARTS, SUCH AS FAUCETS, BATHUB & SHOWER CONTROLS, WATER CLOSET FLUSH CONTROLS, LIGHT SWITCHES, ELECTRICAL RECEPTACLES, CIRCUIT BREAKERS, AND OTHER CONTROLS SHALL COMPLY WITH SEC. 309, HAVE A 30"x48" CLEAR FLOOR SPACE AND BE 15" A.F.F., MIN. / 48" A.F.F. MAX. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. APPLIANCE CONTROLS AND CIRCUIT BREAKERS IN TYPE "A" UNITS SHALL ALSO COMPLY.
- ICC/ANSI A117.1-2003; SEC 1003.11 AND 1004.11 - WATER CLOSETS SHALL COMPLY INCLUDING CLEAR FLOOR SPACE, HEIGHT OF WATER CLOSET (15'-14" A.F.F. - MEASURED TO TOP OF SEAT) AND OPERABLE CONTROLS. FLUSH CONTROL ON THE OPEN SIDE OF THE TOILET FOR TYPE "A" UNIT.
- ICC/ANSI A117.1-2003; SEC. 1003.11.9 - SHOWERS, IF IN TYPE "A" UNIT - ACCESSIBLE BATHROOMS OR IS THE ONLY BATHING FACILITY IN THE DWELLING UNIT, SHALL COMPLY WITH SECTION 608, INCLUDING CLEAR FLOOR SPACE AND CONTROLS. EXCEPTION 3- SEATS AND GRAB BARS ARE NOT REQUIRED IF REINFORCEMENT FOR THE SEAT AND GRAB BARS IS PROVIDED.
- ICC/ANSI A117.1-2003; SEC. 1003.12.6 & 1004.12.2; EACH APPLIANCE SHALL HAVE A 30"x48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD APPROACH. CLEAR FLOOR SPACES ARE PERMITTED TO OVERLAP.

PLAN NOTES

- ICC/ANSI A117.1-2003; SEC. 1002.10, SEC. 1003.1 AND SEC. 1004.1 - WASHING MACHINES AND CLOTHES DRYERS SHALL COMPLY WITH SEC. 611. 30" x 48" CLEAR FLOOR SPACE, POSITIONED FOR A PARALLEL APPROACH, SHALL BE PROVIDED. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE. TYPE "A" UNITS- IF W/D IS IN A ROOM, A 60" DIA. OR T-SHAPED TURNING SPACE IS REQUIRED. IF IN A CLOSET, THE 30"x48" CLEAR SPACE CAN BE LOCATED 10 IN. FROM THE FACE OF THE APPLIANCES AND MAY REQUIRE SLIDING DOORS OR NO DOORS.
- ICC/ANSI A117.1-2003; SEC 1003.11.4 AND SEC 1004.11.2 - REINFORCEMENT SHALL BE PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT WATER CLOSETS, BATHUBS, AND SHOWER COMPARTMENTS. (TYPE "B" UNITS- REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IF THE SHOWER IS LARGER THAN 36" x 36". REINFORCING FOR GRAB BARS IS STILL REQUIRED.) EXCEPTION: CABINETS SHALL BE PERMITTED UNDER THE LAVATORY, PROVIDED: (A) THE CABINETS SHALL BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY. (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETS. (C) THE WALLS BEHIND AND SURROUNDING CABINETS ARE FINISHED.
- ICC/ANSI A117.1-2003; SEC 1003.11.6 - MIRRORS ABOVE LAVATORIES SHALL HAVE A BOTTOM EDGE 40" MAX. A.F.F.
- ICC/ANSI A117.1-2003; SEC 1003.11.8 - BATHUBS SHALL HAVE REINFORCING PER NOTE # 6 ABOVE. A CLEAR FLOOR SPACE- 30" x LENGTH OF THE CONTROLS THAT COMPLY WITH SEC. 309.4, A HAND SHOWER THAT COMPLIES WITH SEC. 607.6 AND BATHUB ENCLOSURES, IF PROVIDED, SHALL COMPLY WITH SEC. 607.1.
- ICC/ANSI A117.1-2003; SEC 1003.12.4 - A 30" x 48" CLEAR SPACE SHALL BE PROVIDED AT THE KITCHEN SINK, CENTERED ON THE SINK (OR ONE SINK BOWL IN A MULTI-BOWL SINK) FOR A FRONT APPROACH IN TYPE "A" UNITS AND PARALLEL APPROACH IN TYPE "B" UNITS. EXCEPTION: CABINETS SHALL BE PERMITTED TO BE ADDED UNDER THE SINK, PROVIDED: (A) THE CABINETS CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETS (C) THE WALLS BEHIND AND SURROUNDING CABINETS ARE FINISHED.
- ICC/ANSI A117.1-2003; SEC 1003.12.4 - (UNIT TYPE "A") A KITCHEN SINK MAY NOT BE MORE THAN 34 INCHES ABOVE THE FLOOR AND TOE/KNEE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED. THE SINK BOWL SHALL NOT BE MORE THAN 6 1/2 INCHES DEEP WITH FAUCETS COMPLYING WITH SECTION 309. EXPOSED PIPES MUST BE INSULATED.
- ICC/ANSI A117.1-2003; SEC 1003.12.6 - (UNIT TYPE "A") ALL APPLIANCES SHALL HAVE CONTROLS THAT COMPLY WITH SEC. 1003.9 AND BE WITHIN THE REACH RANGES AND SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH. DISHWASHER SHALL HAVE A CLEAR FLOOR SPACE ADJACENT TO THE DISHWASHER DOOR. REFRIGERATOR/FREEZER SHALL HAVE AT LEAST 50% OF THE FREEZER COMPARTMENT SHELVES, INCLUDING THE BOTTOM OF THE FREEZER 54" MAX. A.F.F.
- ICC/ANSI A117.1-2003; SEC 1002.12.3 - (UNIT TYPE "A") A KITCHEN 30" WIDE WORK SURFACE WITH KNEE CLEARANCE PER SECTION 306 FOR A FRONT APPROACH SHALL BE PROVIDED. THE COUNTER TO BE NO HIGHER THAN 34 INCHES ABOVE THE FLOOR.
- 1003.12.3.1 - WORK AREA 30" x 48" CLEAR FLOOR SPACE - FORWARD APPROACH EXCEPTION: CABINETS SHALL BE PERMITTED UNDER THE WORK SURFACE, PROVIDED: (A) THE CABINETS CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETS (C) THE WALLS BEHIND AND SURROUNDING CABINETS ARE FINISHED
- ICC/ANSI A117.1-2003; SEC. 1003.13 WINDOWS - (UNIT TYPE "A") WHERE OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, OR DINING SPACE SHALL HAVE OPERABLE PARTS COMPLYING WITH SEC. 309. EACH REQUIRED OPERABLE WINDOW SHALL HAVE OPERABLE PARTS COMPLYING WITH SEC. 309. SEE NOTE #3.
- CRITICAL ACCESSIBLE DIMENSION
- AIR CONDITIONERS WITHIN REACH RANGE OR TO HAVE REMOTE CONTROL.



ANSI A117.1 REACH RANGES



MANEUVERING CLEARANCES AT DOORS
NOT TO SCALE

SKYLINE TOWERS

laplantarchitecture@yahoo.com

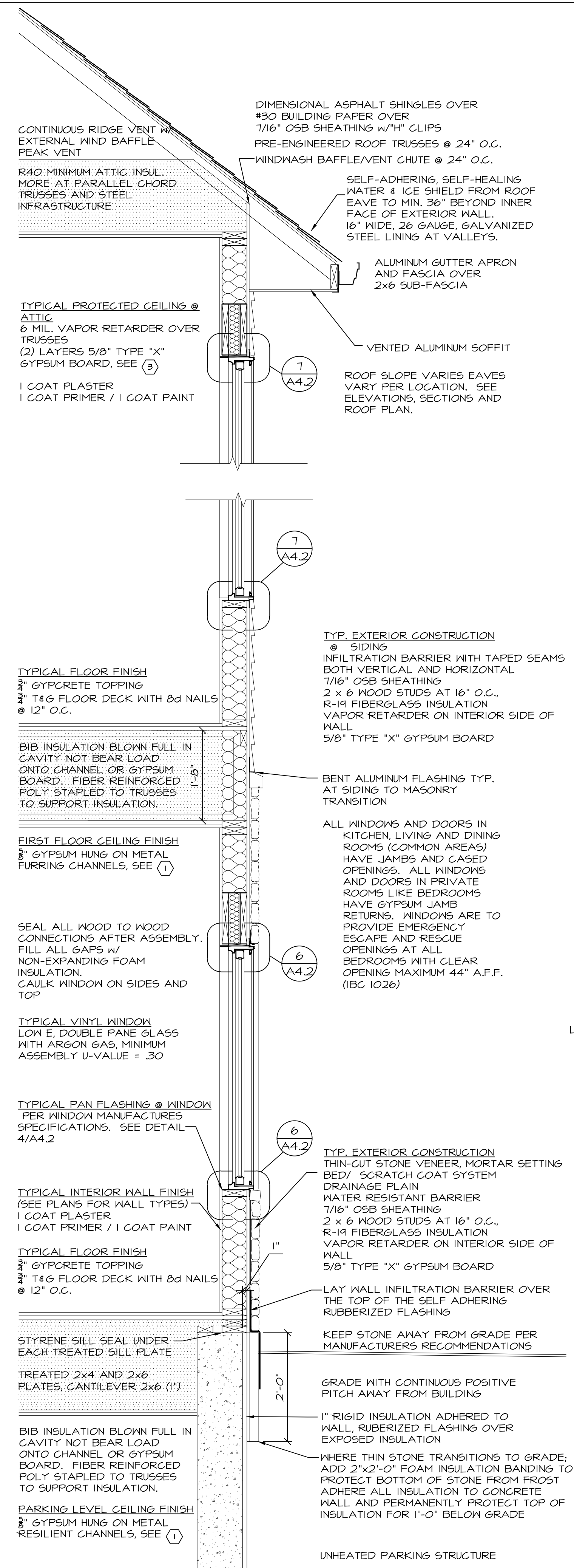
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MAILING: 1592 RUSTIC WAY
GREEN BAY, WISCONSIN 54313
Telephone: (920) 737-9769
EMAIL: laplantarchitecture@yahoo.com

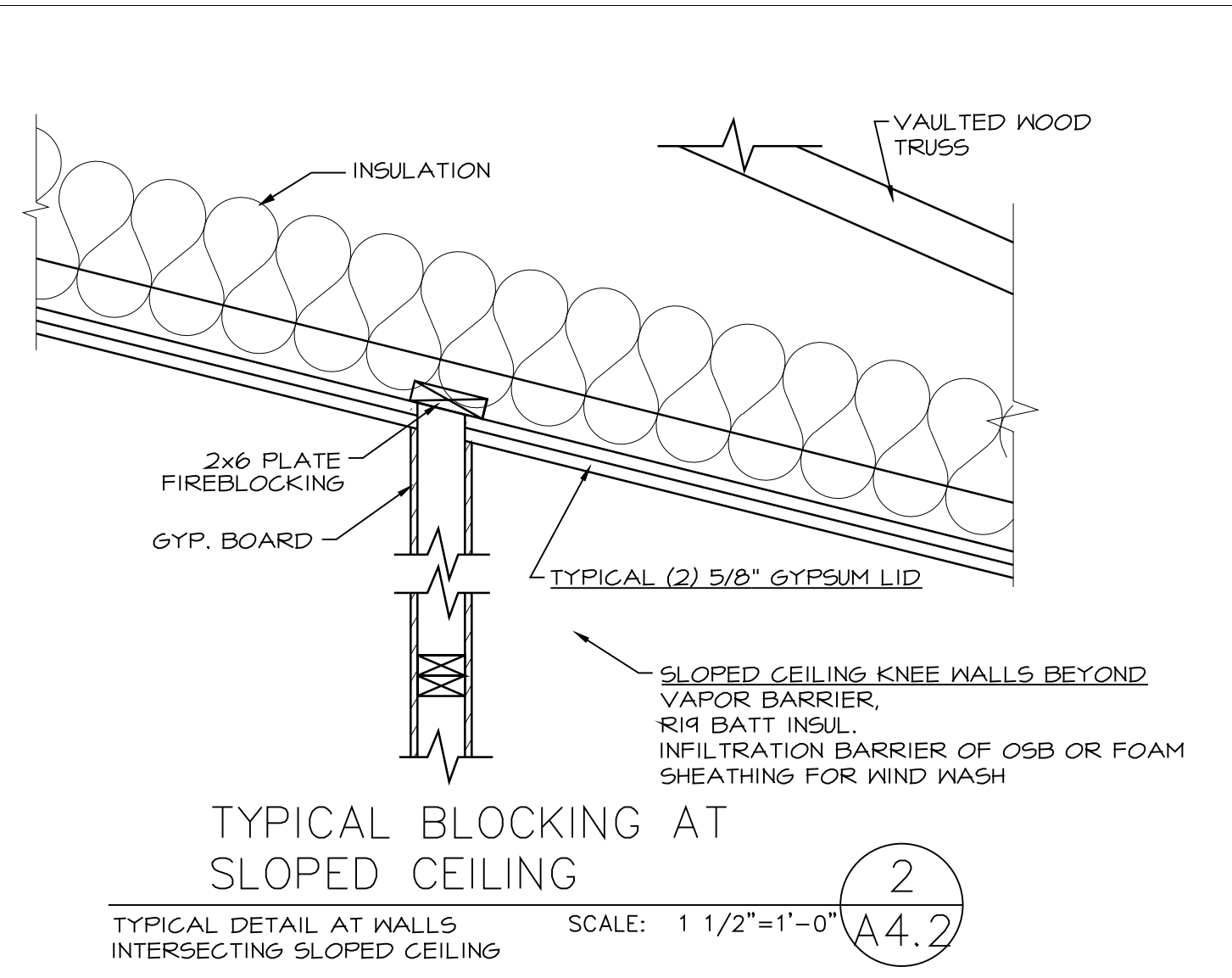
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|----------|-----------|
| 1 | 6/11/2016 |

DATE: 4/28/2016
PROJECT NO. 461462
SHEET **A 4.1**

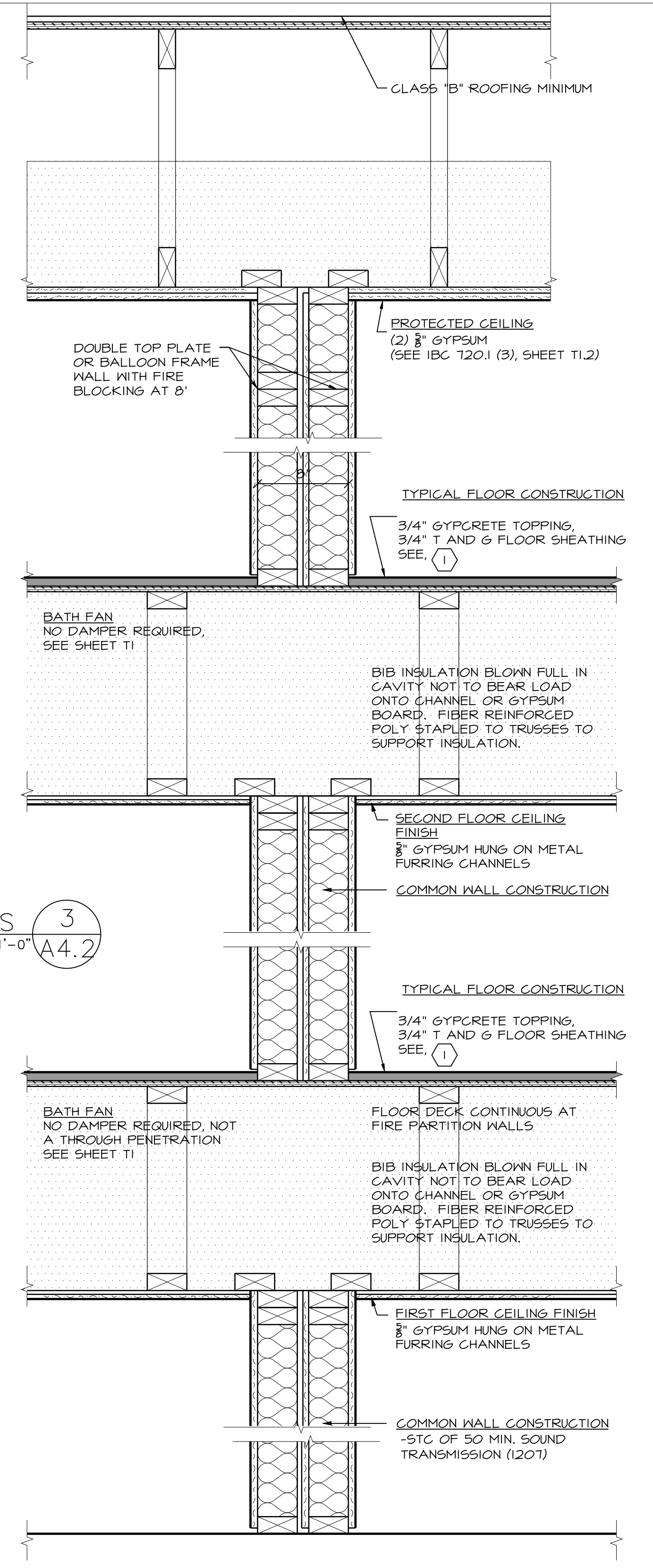
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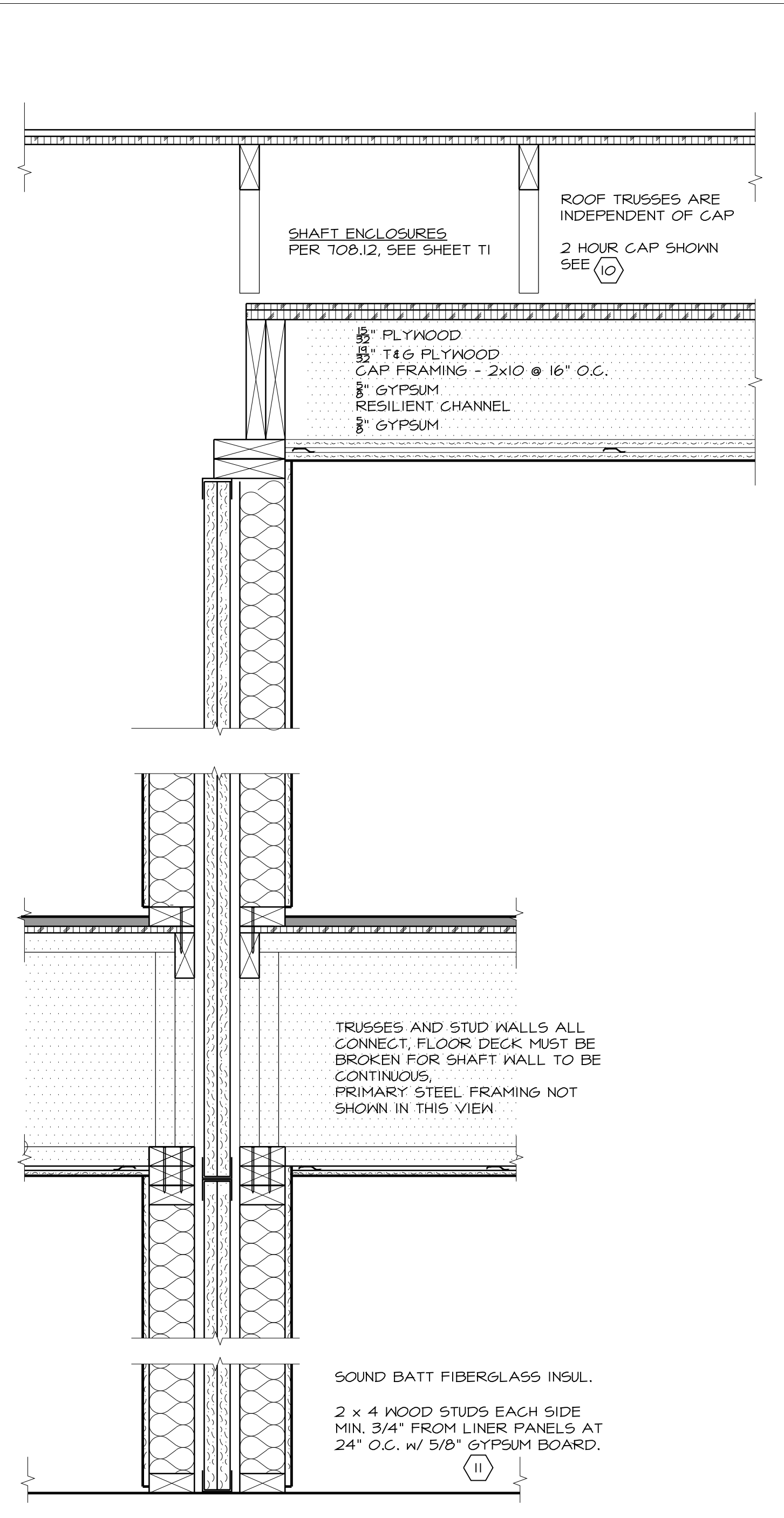
THERMAL ENVELOPE
SCALE: 3/4" = 1'-0"
1 A4.2



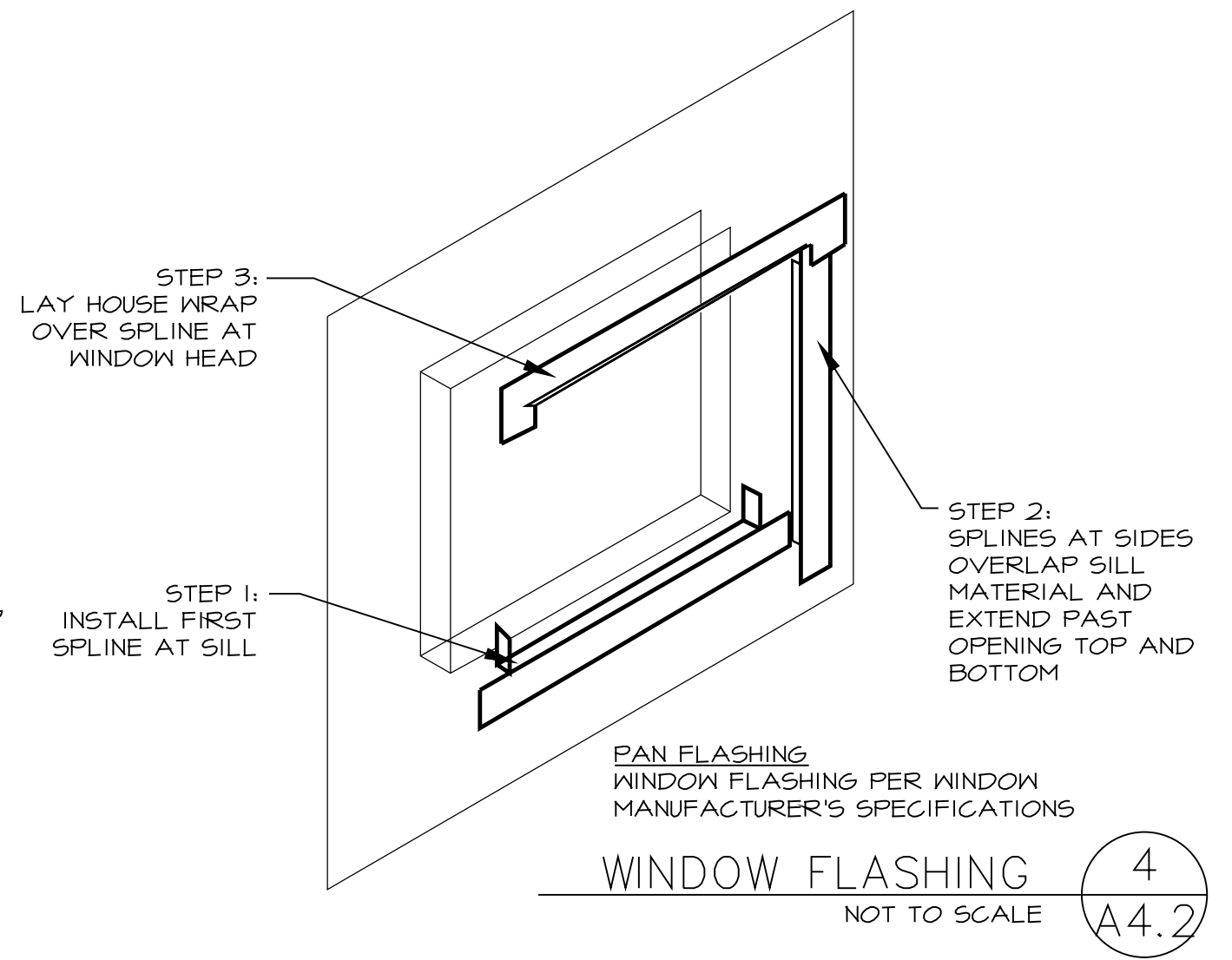
TYPICAL BLOCKING AT SLOPED CEILING
TYPICAL DETAIL AT WALLS INTERSECTING SLOPED CEILING
SCALE: 1 1/2" = 1'-0"
2 A4.2



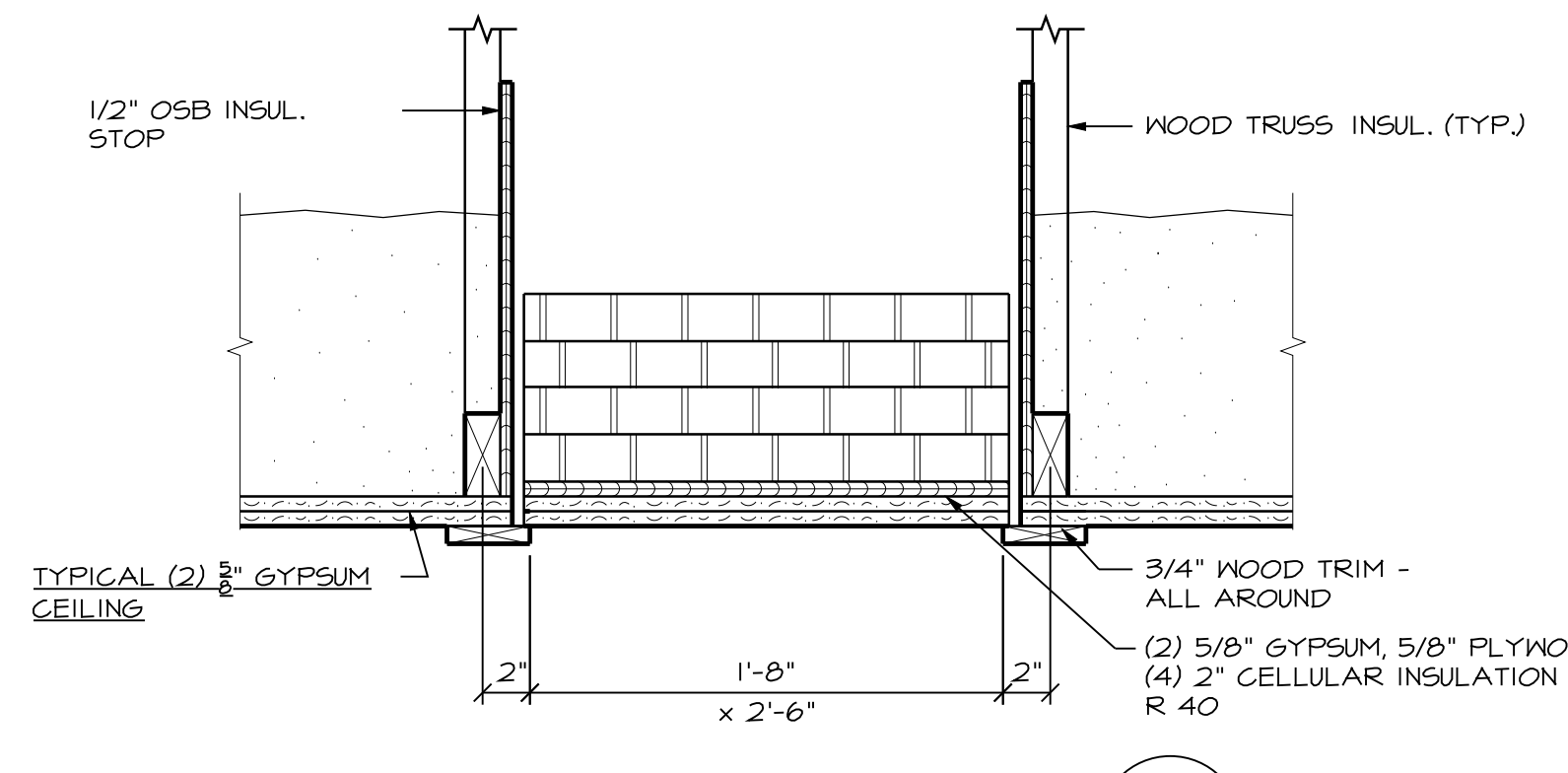
DWELLING PARTY WALLS
1 HOUR FIRE PARTITION
SCALE: 1 1/2" = 1'-0"
3 A4.2



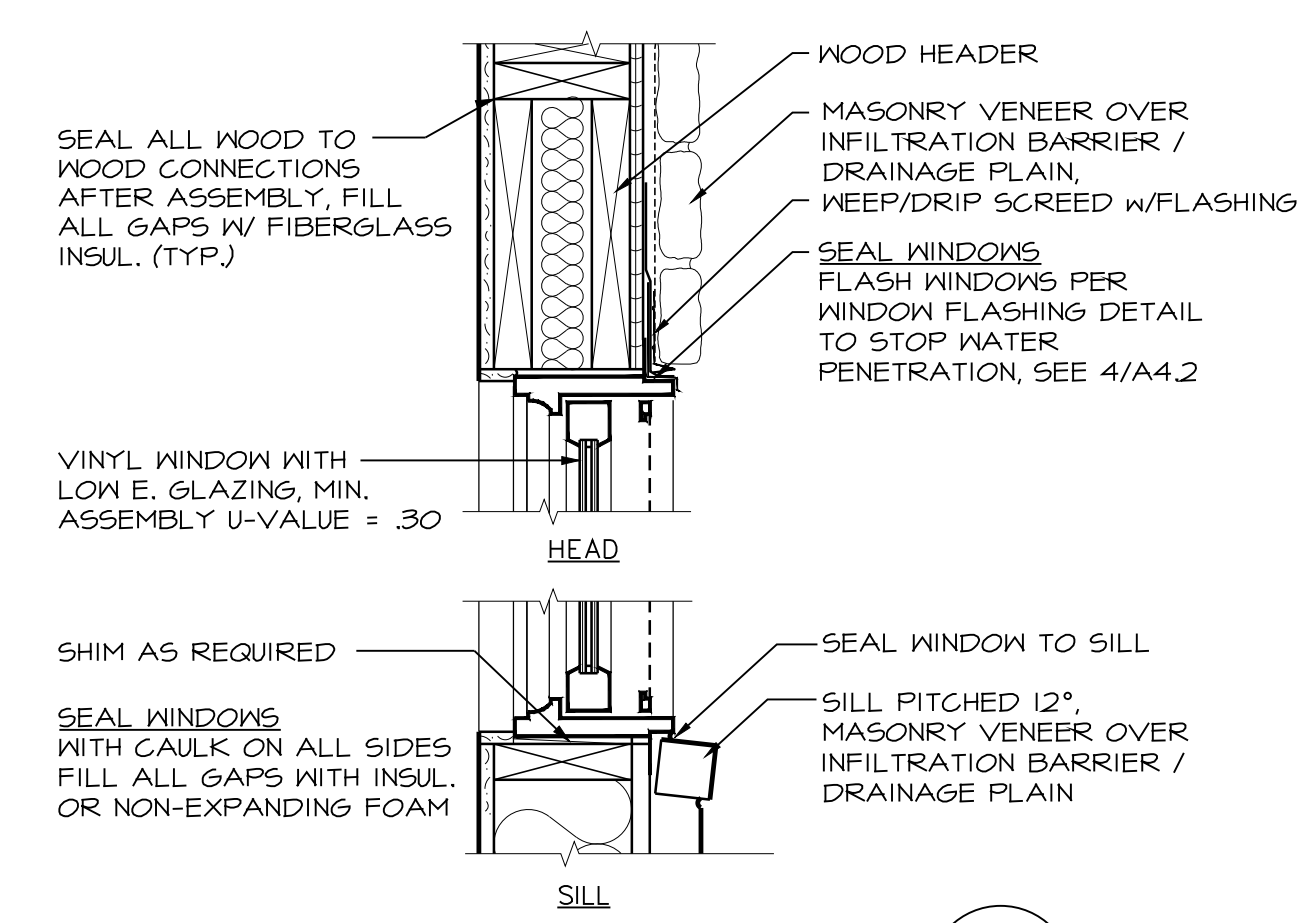
FIRE RATED ASSEMBLY
2 HOUR SHAFT WALL
SCALE: 1 1/2" = 1'-0"
8 A4.2



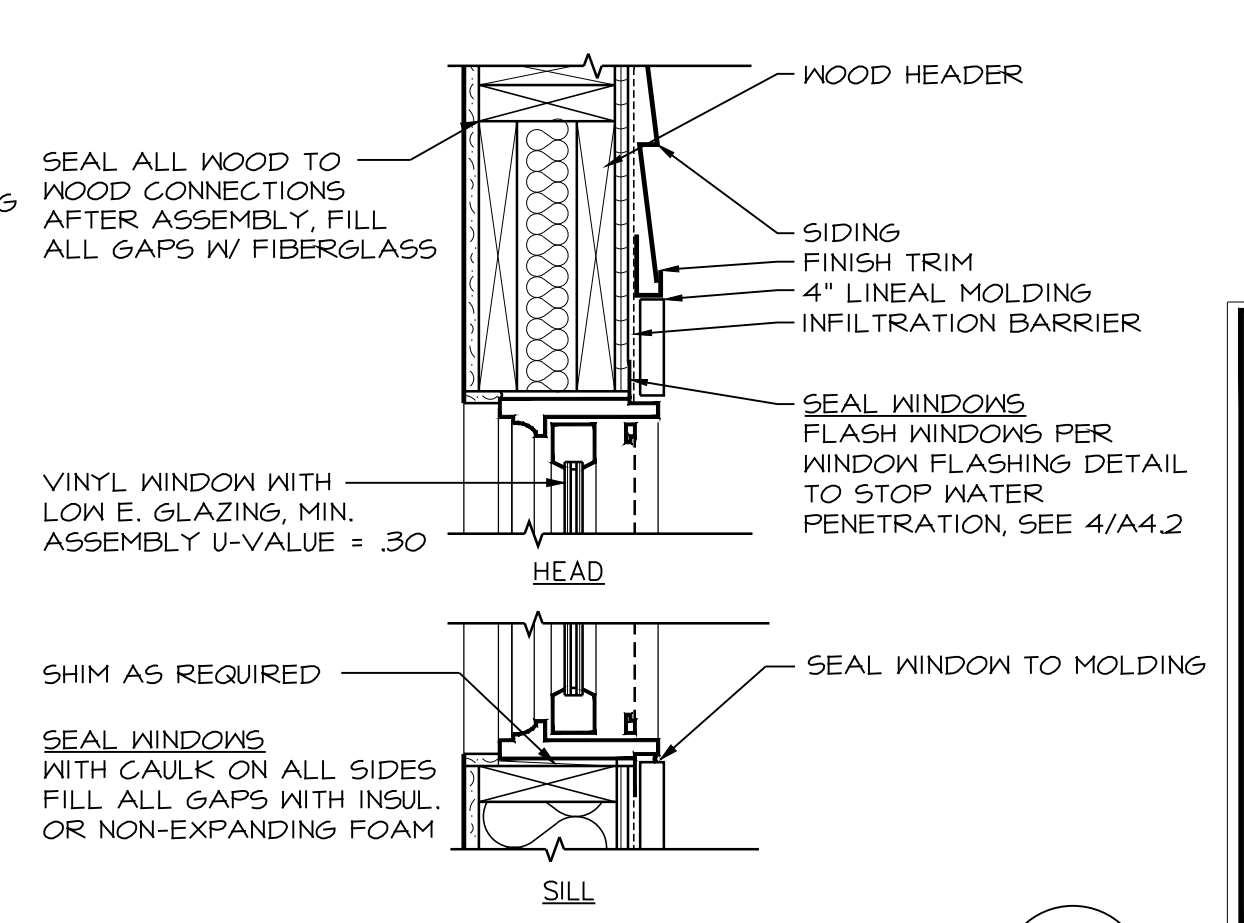
WINDOW FLASHING
NOT TO SCALE
4 A4.2



ATTIC SCUTTLE PANEL
SCALE: 1 1/2" = 1'-0"
5 A4.2



SLIDE-BY WINDOW
SCALE: 1 1/2" = 1'-0"
6 A4.2



SLIDE-BY WINDOW
SCALE: 1 1/2" = 1'-0"
7 A4.2

SKYLINE TOWERS

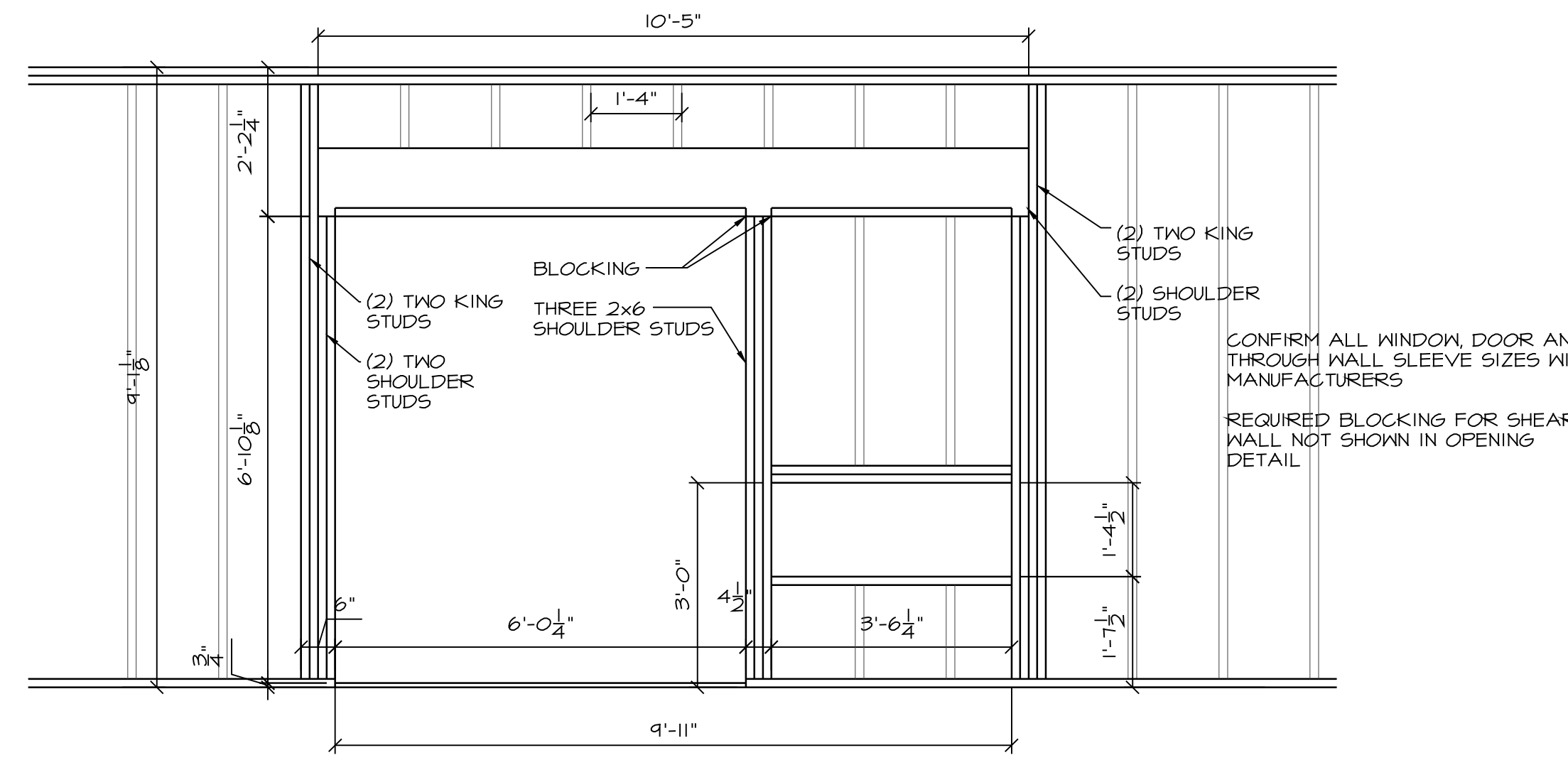
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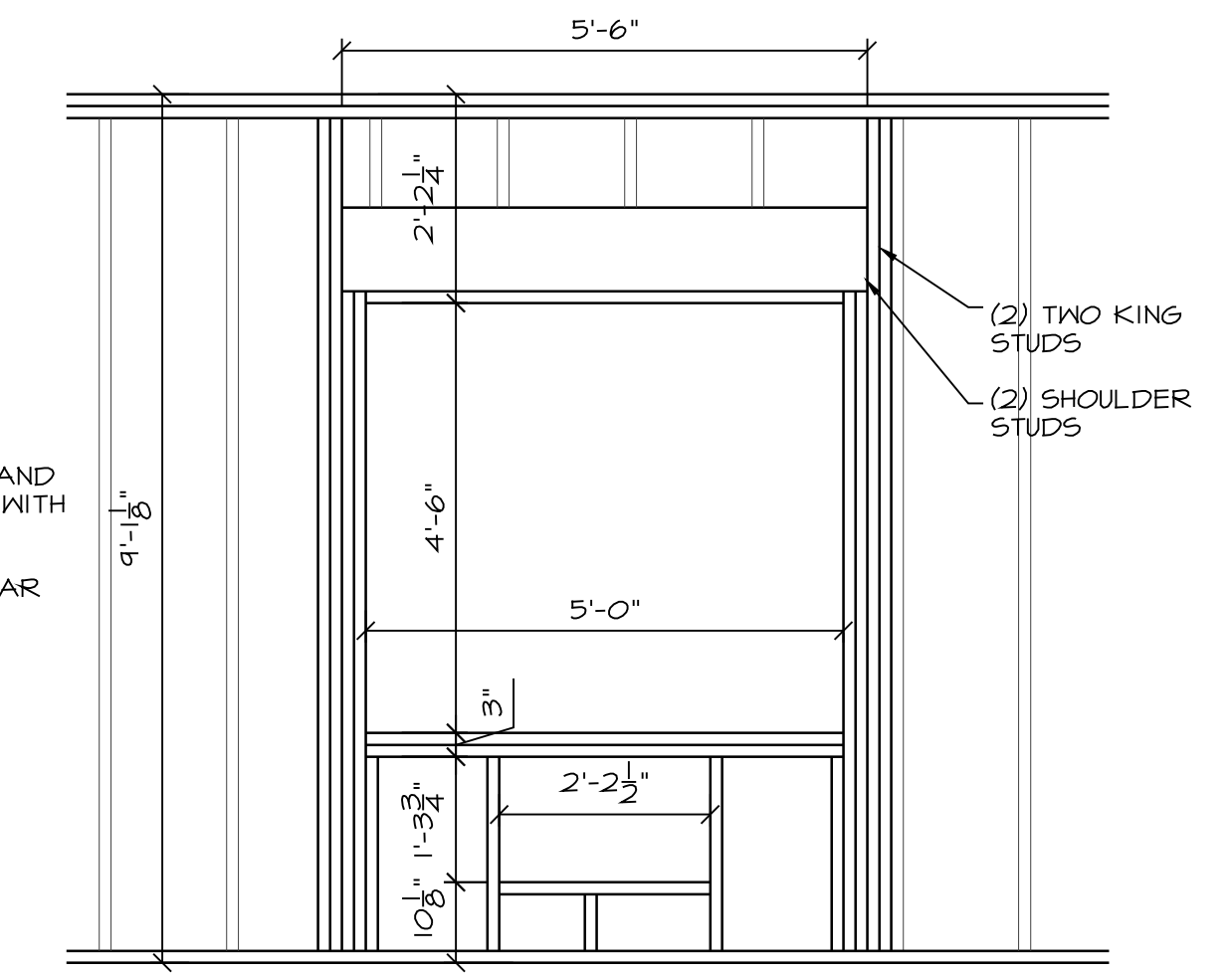
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| 1 | 5/11/2016 |

DATE: 4/28/2016
PROJECT NO. 461482
SHEET **A 4.2**

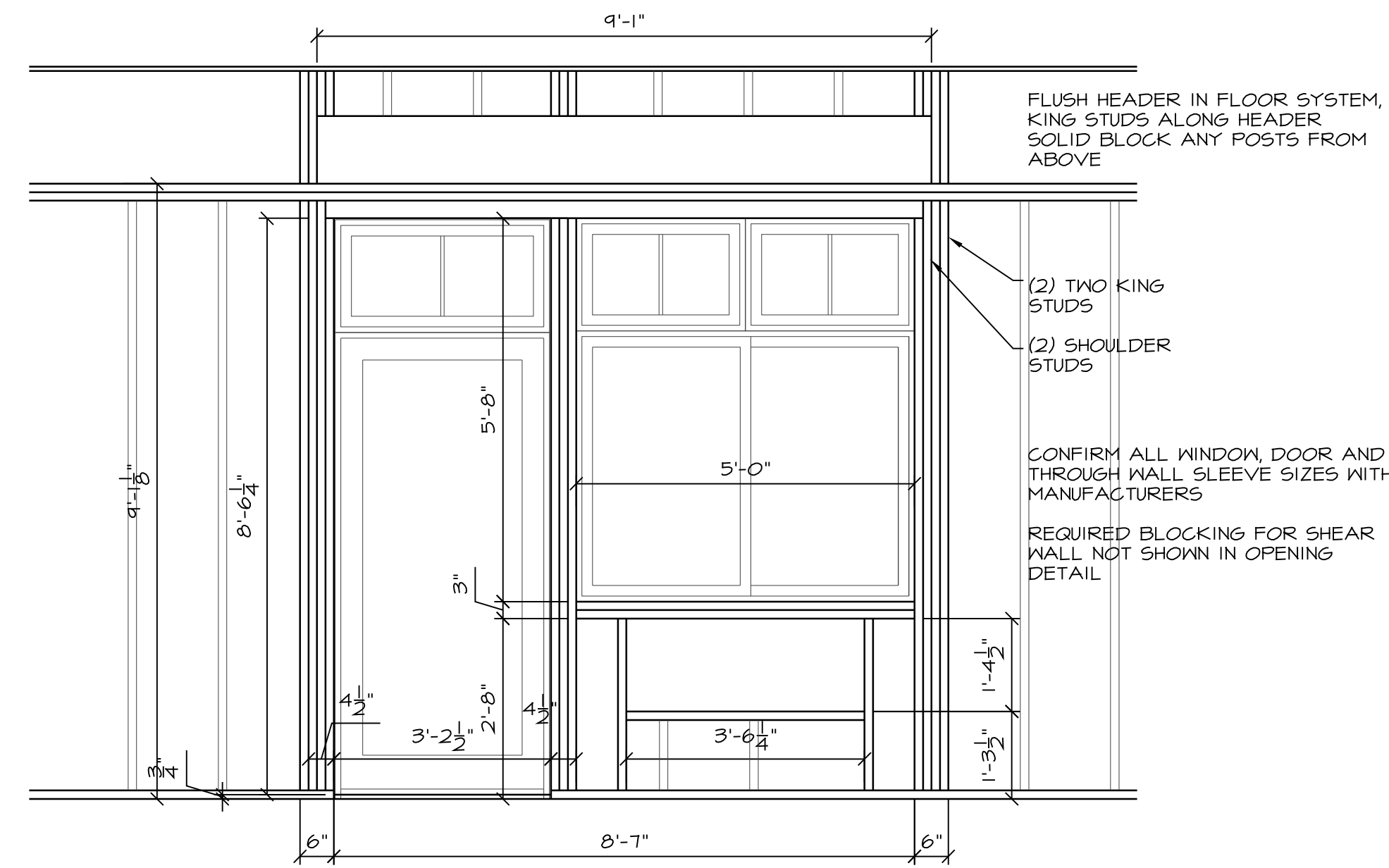
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1 CONTINUOUS HEADER—
 PATIO DOOR AND P.T.A.C. UNIT
 A4.3 SCALE: 1/2" = 1'-0"

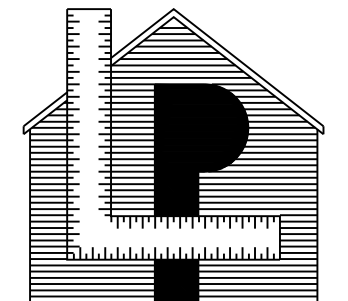


2 HEADER—
 WINDOW AND AIR CONDITIONER
 A4.3 SCALE: 1/2" = 1'-0"



3 CONTINUOUS HEADER—
 SWING DOOR, P.T.A.C. UNIT, TRANSOM
 A4.3 SCALE: 1/2" = 1'-0"

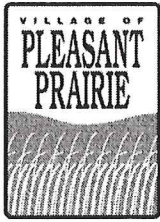
SKYLINE TOWERS

| | |
|--|--|
|  LaPlant Architecture, LLC OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769 EMAIL: laplantarchitecture@yahoo.com © LaPlant Architecture LLC 2016 | REVISION 1 DATE 4/28/2016 PROJECT NO. 461462 SHEET A 4.3 |
| | DATE 5/11/2016 |

**SKYLINE TOWERS
PLEASANT PRAIRIE, WI**

| ITEM | MANUFACTURER | COLOR |
|--|--------------------------------|--------------------------------|
| EXTERIOR | | |
| Cultured Stone | Dutch Quality | Sienna Weather Ledge |
| Brick | Boral | Natchez Trace Heritage - Kings |
| Roofing | GAF | Weatherwood |
| Deck Railing & Spindles | Elite Fence Products | Beige |
| Windows | JeldWen | Almond |
| Garage Door | American Overhead Door | Almond |
| Aluminum Entrances | TBD | Sandstone |
| Siding - Lap Siding | HardiPlank - Cedarmill | Khaki Brown |
| Shakes - Shingle Siding | Hardie Shingle - Straight Edge | Rich Espresso |
| Trim, Corners, Band Boards, Lineals | Hardie Board | Navajo Beige |
| Deck Posts, Caps | Hardie Board | Navajo Beige |
| Soffits & Fascia, Aluminum | Rollex | Stone |
| Gutters & Downspouts | Rollex | Stone |
| Dumpster Enclosure | Concrete Block | Paint to match Khaki Brown |
| Dumpster Vinyl Gate | n/a | Color to match Khaki Brown |
| Architectural Grilles | Amana | Match #1120956 |
| | | |
| INTERIOR | | |
| Interior Trim/Doors | Sherwin Williams | Creamy #7012 |
| Cabinets | TBD | Dark Roast |
| Countertops - Kitchen | Granite | Ornamental |
| Countertops - Bathrooms | Granite | Ornamental |
| Carpet - Units | Engineered - Touchown II E115 | #1825 |
| Carpet - Hallway & Stairs including Unit Stairs | Bigelow, Essentials Collection | Artfully Done #7838 |
| Vinyl Plank | Mannington, Adura | ALP 601 |
| Interior Wall Paint | Sherwin Williams | Kilim Beige #6106 |
| Window Treatments | Sherwin Williams | Alabaster |
| Appliances | Whirlpool | Black |
| Laundry | Whirlpool | White |
| Ceramic Tile Base (Bathrooms) | HJ Martin & Son | Manitoba Walnut |
| Elevator Interior | Otis Elevator | Antique Walnut |
| Elevator Doors | Otis Elevator | Painted - Mushroom EN-4 |
| Acoustical Tile Ceiling Panels | USG Eclipse | TBD |
| Acoustical Tile Ceiling Grid | USG DX/DXL | TBD |
| | | |
| | | |
| | | |
| | | |





RECEIVED

JUN 13 2016

Filed 20 Published 20
Public Hearing 20
Fee Paid 20 Approved 20
PLEASANT PRAIRIE Notices Mailed 20 Denied 20

VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
ZONING MAP AND TEXT AMENDMENT APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present R1P4D

District(s) to District(s). The property petitioned

to be rezoned is located at: 9511 81st Street and is legally described

as follows: See Attached CSM #2458 - Document 1420259

Tax Parcel Number(s): 91-4-122-084-0413

The proposed use for this property is: Co-Unit M/F Bldg

To Allow Deck encroachment into 35' setback - to a 30' setback. Posts to be brick - decks are not cantilevered

Petitioner's interest in the requested rezoning:
Compatibility with adjacent land uses:

I (We) are also requesting a Zoning Text Amendment to amend Section of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Skyline Towers LLC

Signature: [Handwritten Signature]

Address: 1308 No. Kings Ct Green Bay, WI 54313

(City) (State) (Zip)

Phone: 920-662-1630

Fax: 920-662-8204

Email: mchristensen@lexingtonneighborhoods.com

Date: 06-10-16

OWNER'S AGENT:

Print Name: Carl Ambrosius

Signature: [Handwritten Signature]

Address: 1300 No. Kings Ct Green Bay, WI 54313

(City) (State) (Zip)

Phone: 920-655-1961

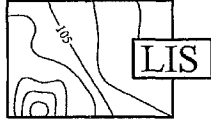
Fax: N/A

Email: Cambrosius@lexingtonneighborhoods.com

Date: 06-10-16

Doc# 1420259

CERTIFIED SURVEY MAP NO. 2458



BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

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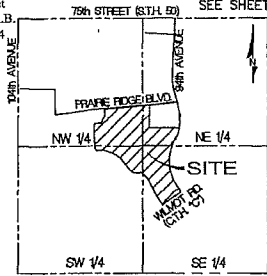
9722 WATERTOWN PLANK ROAD
BUILDING S-5
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www.lisinc.net
Drawn By: M.A.B.
Date: 09/17/04

- INDICATES IRON PIPE FOUND
- ⊙ INDICATES 1 INCH DIA. IRON PIPE, 30 INCHES IN LENGTH, WEIGHING 1.13 LBS PER LINEAL FOOT, SET.

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

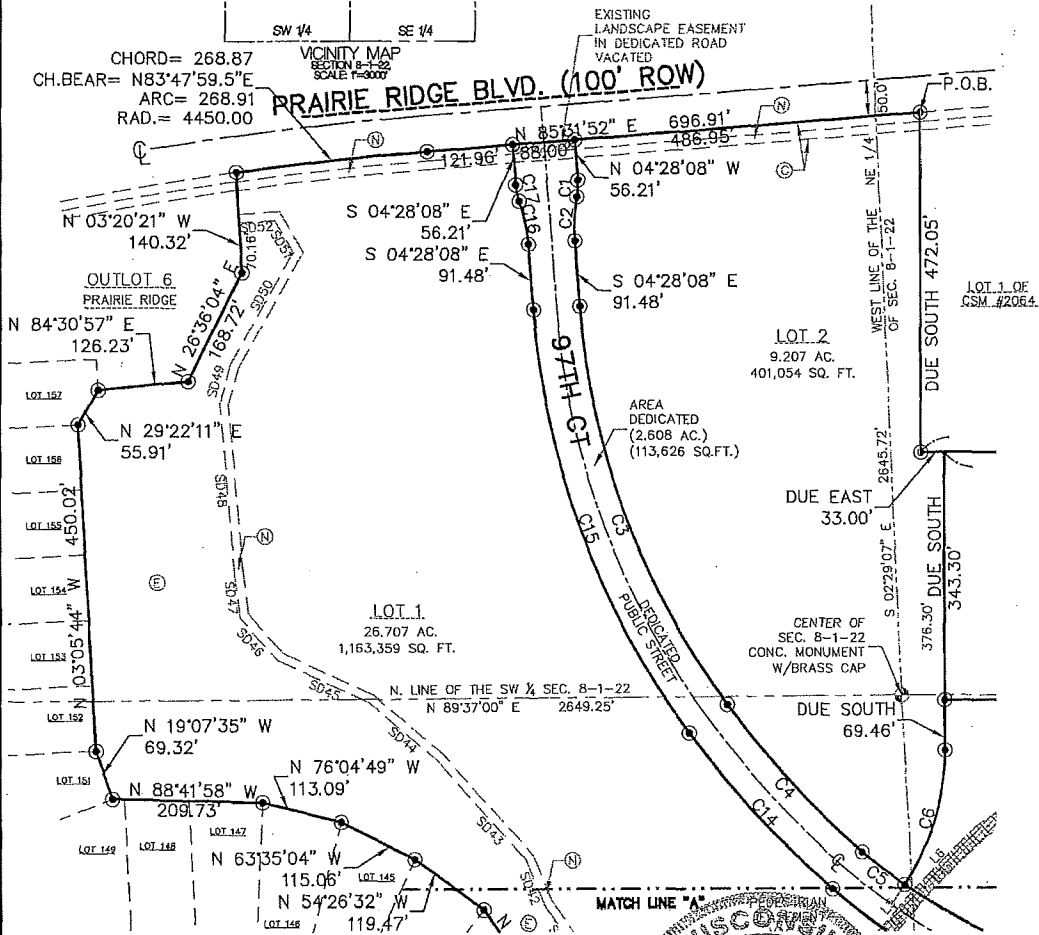
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SEE SHEETS 4-6 FOR NEW EASEMENTS.



CHORD= 268.87
CH.BEAR= N83°47'59.5"E
ARC= 268.91
RAD.= 4450.00

PRAIRIE RIDGE BLVD. (100' ROW)

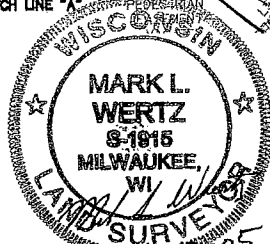


SEE PAGE 7 OF 15 FOR EASEMENT NOTES

GRAPHIC SCALE



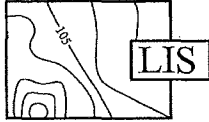
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PAGE 1 OF 15

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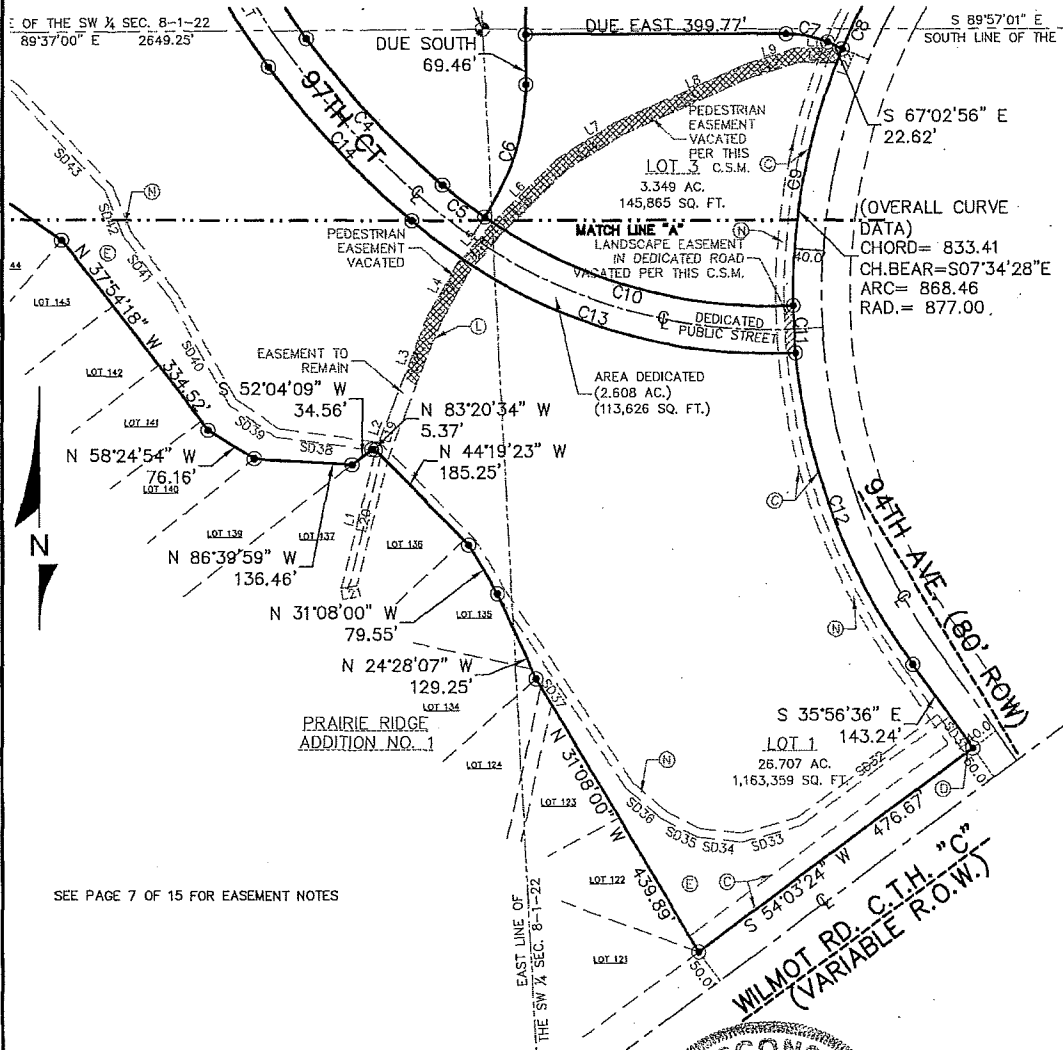
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GRAPHIC SCALE

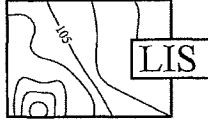


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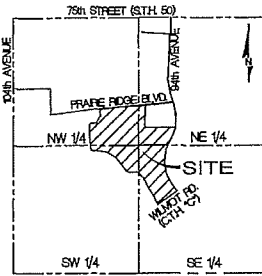
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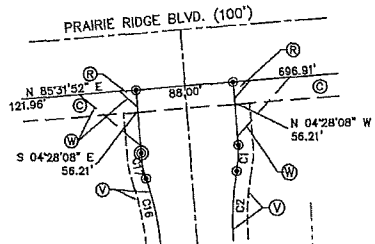
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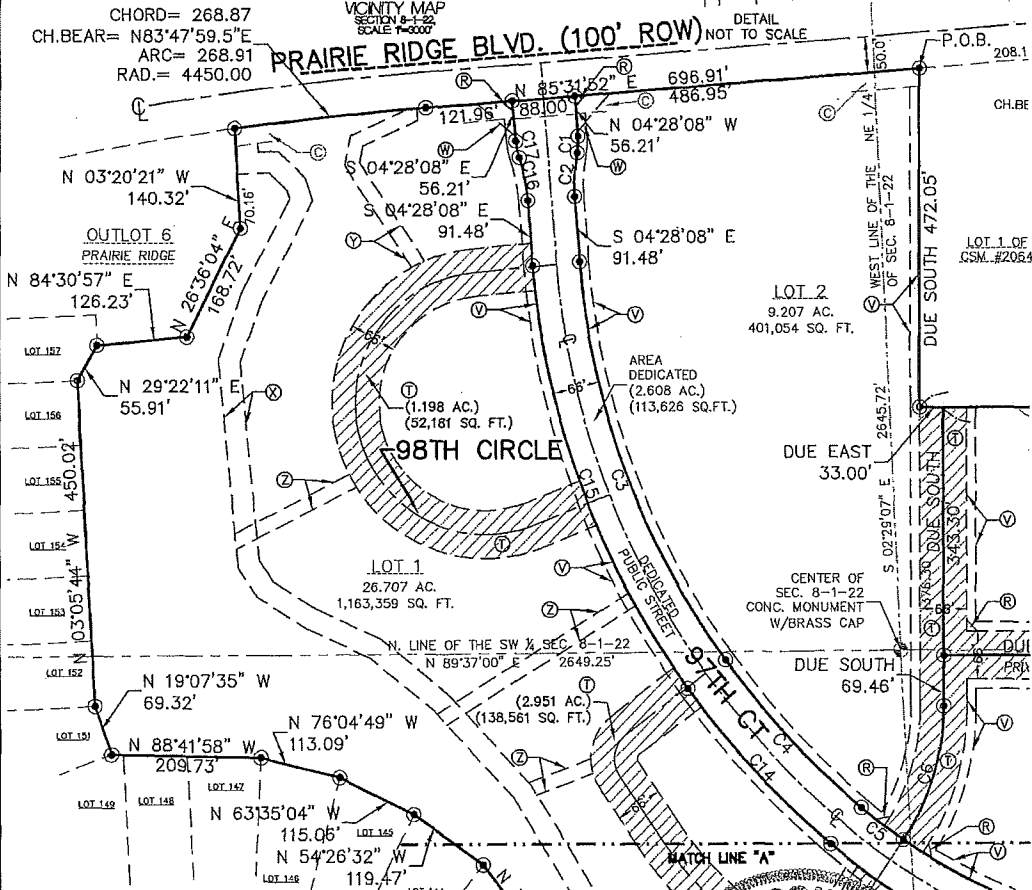


NEW EASEMENTS



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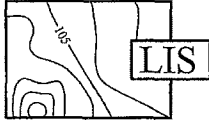
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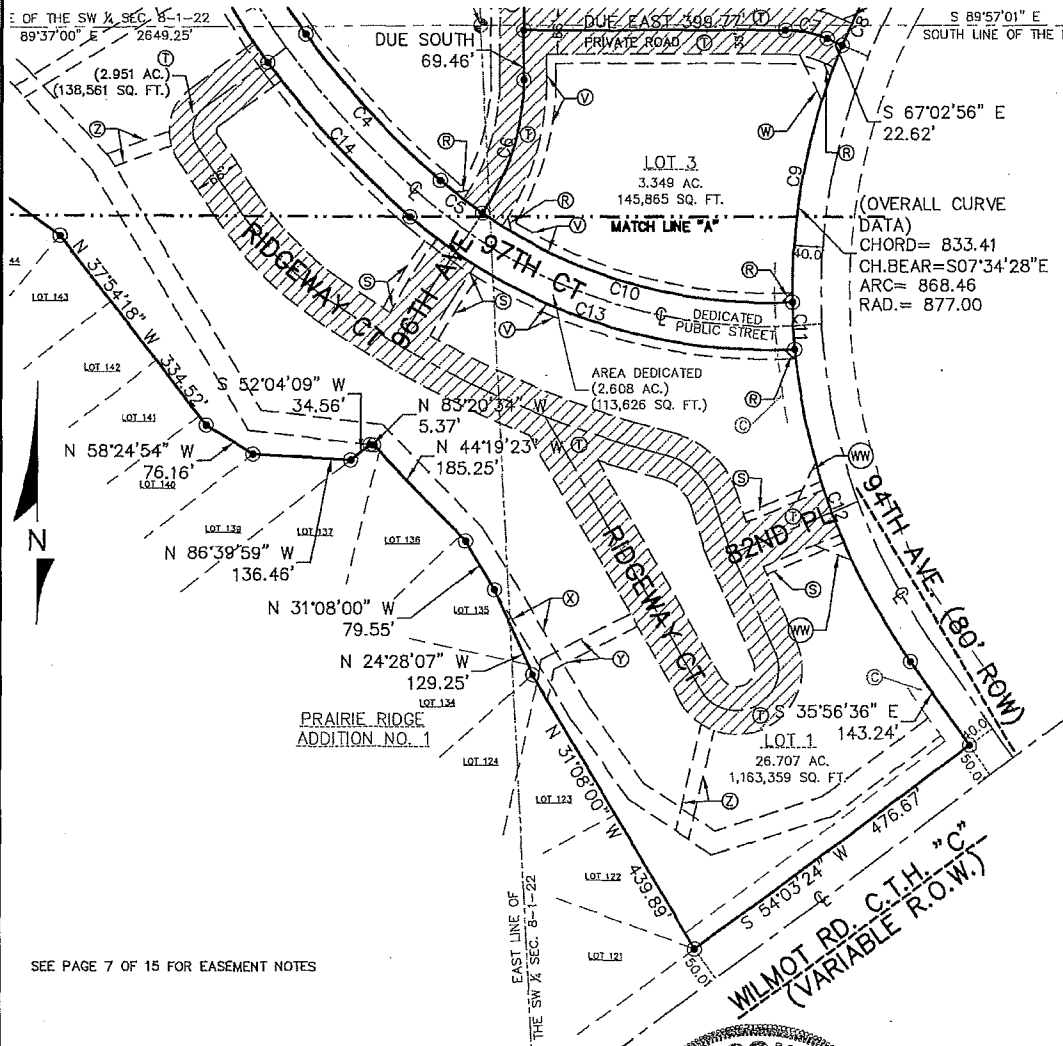
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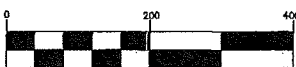
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NEW EASEMENTS



SEE PAGE 7 OF 15 FOR EASEMENT NOTES

GRAPHIC SCALE



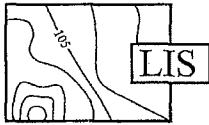
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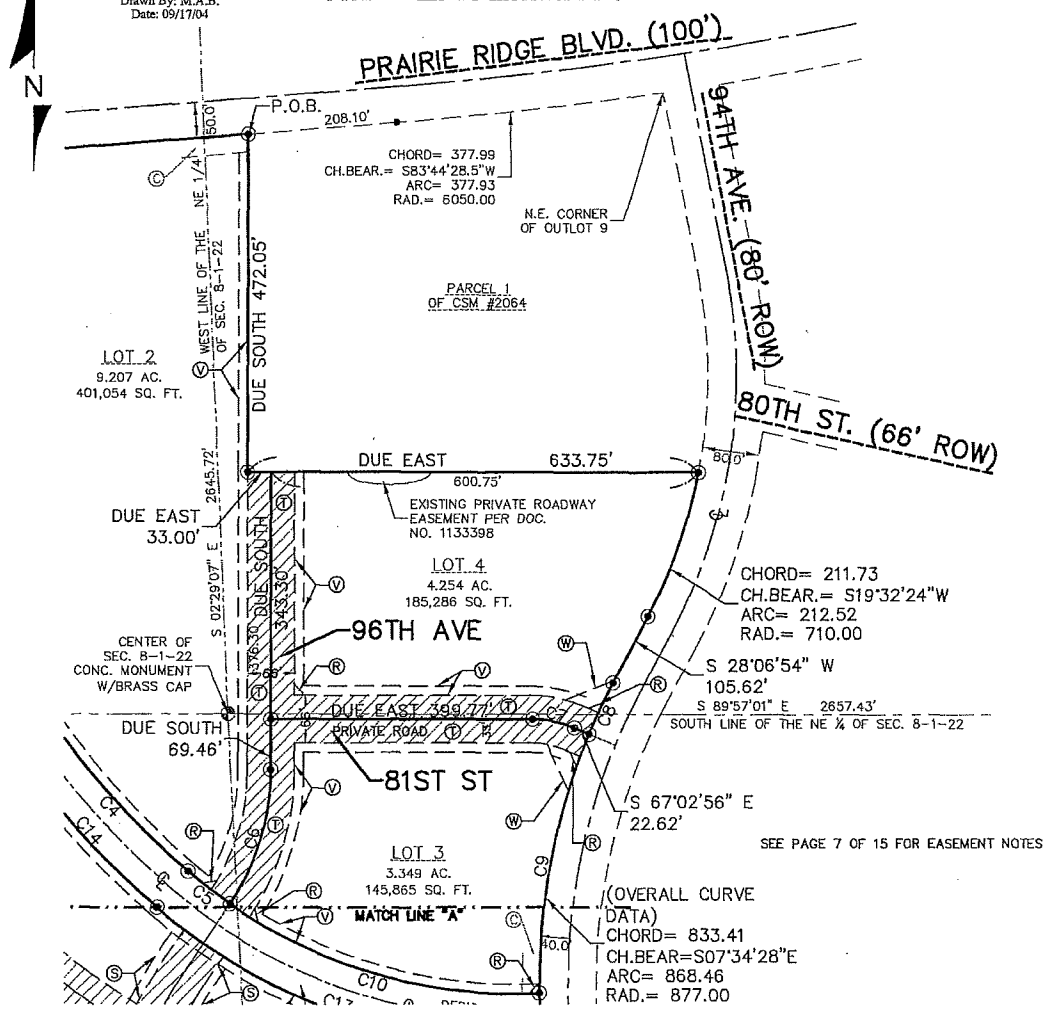
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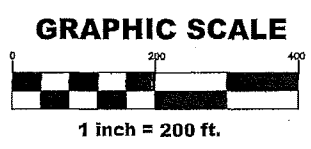
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NEW EASEMENTS



SEE PAGE 7 OF 15 FOR EASEMENT NOTES



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CERTIFIED SURVEY MAP NO. 2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NOTES: EXISTING EASEMENTS

- Ⓒ 25' DED. PLANTING & LANDSCAPE ESMT. & RESTRICTED PLANTING, LANDSCAPE & VEHICLE NON-ACCESS AREA (SUBJECT TO A RESTRICTED COVENANT W/LAND).
- Ⓓ 15'X15' V.T.E.=DED. VISION TRIANGLE ESMT. PER VILLAGE ORDINANCE (ILLUST. #2, SEC. 12.13-1).
- Ⓔ DED. STORMWATER DETENTION ESMT. & RESTRICTED STORMWATER DETENTION AREA (SUBJECT TO A RESTRICTED COVENANT RUNNING W/LAND)
- Ⓕ DED. PUBLIC PEDESTRIAN WALKWAY
- Ⓖ DED. UTILITY ESMT. AREAS TO W.E.P. CO., SBC & TIME WARNER CABLE.

NOTES: NEW EASEMENTS DEDICATED PER THIS C.S.M.

- Ⓖ 15'X15' V.T.E.= VISION TRIANGLE ESMT. PER VILLAGE ORDINANCE (ILLUST. #2, SEC. 12.13-1).
- Ⓕ 12' UTILITY EASEMENT AREAS DEDICATED TO WE ENERGIES, SBC & TIME WARNER CABLE.
- Ⓗ 66' DEDICATED PRIVATE ROADWAYS, SEWER, WATER AND STORM SEWER ACCESS AND MAINTENANCE EASEMENT AND GAS MAIN EASEMENT.
- Ⓖ 13' GAS MAIN AND UTILITY EASEMENT AREAS DEDICATED TO WE ENERGIES, SBC & TIME WARNER CABLE.
- Ⓖ 50'X50' DEDICATED MONUMENT SIGN, ACCESS, AND MAINTENANCE EASEMENT
- Ⓖ 40'X40' DEDICATED MONUMENT SIGN, ACCESS, AND MAINTENANCE EASEMENT
- Ⓒ 30' DEDICATED PLANTING & LANDSCAPE, ACCESS, AND MAINTENANCE EASEMENT
- Ⓖ 20' DEDICATED SANITARY SEWER, ACCESS, AND MAINTENANCE EASEMENT
- Ⓔ 20' DEDICATED STORM SEWER, ACCESS, AND MAINTENANCE EASEMENT

| CURVE TABLE | | | | |
|-------------|---------|----------|---------|---------------|
| NO. | ARC | RADIUS | CHORD | CH. BEAR. |
| C1 | 23.33' | 89.50' | 23.27' | N 03°00'00" E |
| C2 | 61.53' | 236.00' | 61.35' | S 03°00'00" W |
| C3 | 596.12' | 1069.00' | 588.42' | S 20°26'38" E |
| C4 | 278.88' | 1221.50' | 278.28' | S 42°57'35" E |
| C5 | 74.08' | 683.22' | 74.05' | S 52°34'43" E |
| C6 | 196.57' | 326.43' | 193.61' | N 17°15'03" E |
| C7 | 60.09' | 150.00' | 59.68' | N 78°31'28" W |
| C8 | 79.05' | 877.00' | 79.02' | S 25°31'59" W |
| C9 | 366.39' | 877.00' | 363.73' | S 10°58'57" W |
| C10 | 459.50' | 705.53' | 451.42' | S 74°08'03" E |
| C11 | 66.02' | 877.00' | 66.00' | S 03°08'33" E |
| C12 | 469.06' | 877.00' | 463.49' | S 20°37'16" E |
| C13 | 583.87' | 772.37' | 570.06' | S 71°09'23" E |
| C14 | 293.95' | 1287.50' | 293.31' | S 42°57'35" E |
| C15 | 632.92' | 1135.00' | 624.75' | S 20°26'38" E |
| C16 | 61.53' | 236.00' | 61.35' | N 11°56'16" W |
| C17 | 23.33' | 89.50' | 23.27' | S 11°56'16" E |



CERTIFIED SURVEY MAP NO. 2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATIONS AND EASEMENTS PROVISIONS

1. THE FEE INTEREST IN THE AREAS SHOWN AS DEDICATED PUBLIC STREET ON THIS CERTIFIED SURVEY MAP (CSM) ARE HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE SUBDIVIDER, VK ARBOR LLC (REFERRED TO AS "THE DEVELOPER") TO THE VILLAGE OF PLEASANT PRAIRIE, ITS SUCCESSORS AND ASSIGNS (THE "VILLAGE") FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE OF PUBLIC STREET IMPROVEMENTS, USES AND PURPOSES, INCLUDING, WITHOUT LIMITATION, PAVEMENT, CURBS AND GUTTERS, SIDEWALKS, STREET SIGNS AND LIGHTS, SANITARY SEWER SYSTEM IMPROVEMENTS, WATER SYSTEM IMPROVEMENTS, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, UTILITY AND COMMUNICATIONS FACILITIES, STREET TREES AND OTHER LANDSCAPING, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE ACTIVITIES. SUCH FEE INTEREST IS SUBJECT TO THE FOLLOWING: (1) A NONEXCLUSIVE EASEMENT COEXTENSIVE WITH THE AREA OF EACH SUCH DEDICATED PUBLIC STREET, HEREBY RETAINED BY THE DEVELOPER FOR THE CONSTRUCTION, INSTALLATION, REPAIR, REPLACEMENT AND MAINTENANCE OF SUCH PUBLIC STREET IMPROVEMENTS PURSUANT TO THE DEVELOPMENT AGREEMENT ENTERED INTO BETWEEN THE DEVELOPER AND THE VILLAGE DATED AS OF JANUARY 17, 2005 (SUBJECT TO THE RIGHTS OF THE VILLAGE TO PERFORM THE SAME FUNCTIONS) AND (2) A NONEXCLUSIVE EASEMENT HEREBY RESERVED BY THE OWNER(S) OF THE LOTS WHICH ARE ADJACENT TO EACH SUCH DEDICATED PUBLIC STREET FOR THE PLANTING AND MAINTENANCE OF GRASS, THE MAINTENANCE AND REPLANTING OF STREET TREES AND THE CLEARANCE, MAINTENANCE, REPAIR AND REPLACEMENT OF SIDEWALKS IN THE AREA BETWEEN THE ROADWAY AND THE LOTS, AND AS WILL NOT INTERFERE WITH THE PUBLIC IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE IN ACCORDANCE WITH VILLAGE-APPROVED PLANS, AND ALL RELATED INGRESS AND EGRESS (ALL SUBJECT TO THE RIGHTS OF THE VILLAGE TO PERFORM THE SAME PLANTING, REPLANTING, CONSTRUCTION, INSTALLATION, REPAIR, CLEARANCE, MAINTENANCE AND REPLACEMENT FUNCTIONS) AND IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE UNDER ITS FEE INTEREST IN THE DEDICATED PUBLIC STREETS AND THE RIGHTS OF THE DEVELOPER, OR THE OWNER(S), PURSUANT TO THE EASEMENTS RETAINED HEREIN, THE RIGHTS OF THE VILLAGE SHALL BE DEEMED TO BE SUPERIOR.

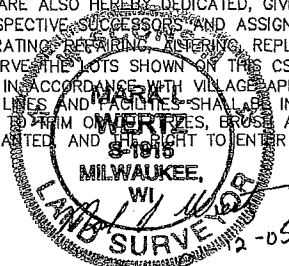
THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INITIAL CONSTRUCTION OR INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE OF THE PUBLIC STREET IMPROVEMENTS AND SHALL WARRANT THOSE IMPROVEMENTS INCLUDING, WITHOUT LIMITATION, PAVEMENT, CURBS AND GUTTERS, SIDEWALKS, STREET SIGNS AND LIGHTS, SANITARY SEWER SYSTEM IMPROVEMENTS, WATER SYSTEM IMPROVEMENTS, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, UTILITY AND COMMUNICATION FACILITIES, STREET TREES AND FOR ALL RELATED INGRESS AND EGRESS REFERRED TO HEREIN, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE REFERENCED DEVELOPMENT AGREEMENT.

2. PERPETUAL EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS 66' DEDICATED PRIVATE ROADWAYS (96TH AVENUE, 81ST STREET, 98TH CIRCLE, 82ND PLACE AND RIDGEWAY COURT), SEWER, WATER AND STORM SEWER ACCESS AND MAINTENANCE EASEMENTS AND GAS MAIN EASEMENTS ARE HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE OF PRIVATE STREET IMPROVEMENTS, USES AND PURPOSES, INCLUDING, WITHOUT LIMITATION, PAVEMENT, CURBS AND GUTTERS, SIDEWALKS, STREET SIGNS AND LIGHTS, SANITARY SEWER SYSTEM IMPROVEMENTS, WATER SYSTEM IMPROVEMENTS, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, UTILITY AND COMMUNICATIONS FACILITIES, STREET TREES AND OTHER LANDSCAPING, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE ACTIVITIES. SUCH EASEMENTS ARE SUBJECT TO THE FOLLOWING: (1) A NONEXCLUSIVE EASEMENT COEXTENSIVE WITH THE AREA OF EACH SUCH PRIVATE STREET, HEREBY RETAINED BY THE DEVELOPER FOR THE CONSTRUCTION, INSTALLATION, REPAIR, REPLACEMENT AND MAINTENANCE OF SUCH PRIVATE STREET IMPROVEMENTS PURSUANT TO THE DEVELOPMENT AGREEMENT AS OF JANUARY 17, 2005 (SUBJECT TO THE RIGHTS OF THE VILLAGE TO PERFORM THE SAME FUNCTIONS) AND (2) A NONEXCLUSIVE EASEMENT HEREBY RESERVED BY THE OWNER(S) OF THE LOTS WHICH ARE ADJACENT TO EACH SUCH DEDICATED PRIVATE STREET FOR THE PLANTING AND MAINTENANCE OF GRASS, THE MAINTENANCE AND REPLANTING OF STREET TREES AND THE CLEARANCE, MAINTENANCE, REPAIR AND REPLACEMENT OF SIDEWALKS, IF ANY, IN THE AREA BETWEEN THE ROADWAY AND THE LOTS, AND AS WILL NOT INTERFERE WITH THE PRIVATE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE IN ACCORDANCE WITH VILLAGE-APPROVED PLANS, AND ALL RELATED INGRESS AND EGRESS (ALL SUBJECT TO THE RIGHTS OF THE VILLAGE TO PERFORM THE SAME PLANTING, REPLANTING, CONSTRUCTION, INSTALLATION, REPAIR, CLEARANCE, MAINTENANCE AND REPLACEMENT FUNCTIONS) AND IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE UNDER ITS INTEREST IN THE EASEMENTS AND THE RIGHTS OF THE DEVELOPER, OR THE OWNER(S), PURSUANT TO THE EASEMENTS RETAINED HEREIN, THE RIGHTS OF THE VILLAGE SHALL BE DEEMED TO BE SUPERIOR.

THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INITIAL CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE OF THE PRIVATE STREET IMPROVEMENTS AND SHALL WARRANT THOSE IMPROVEMENTS INCLUDING, WITHOUT LIMITATION, PAVEMENT, CURBS AND GUTTERS, SIDEWALKS, STREET SIGNS AND LIGHTS, SANITARY SEWER SYSTEM IMPROVEMENTS, WATER SYSTEM IMPROVEMENTS, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, UTILITY AND COMMUNICATION FACILITIES, STREET TREES AND FOR ALL RELATED INGRESS AND EGRESS REFERRED TO HEREIN, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE REFERENCED DEVELOPMENT AGREEMENT.

IN ADDITION, PERPETUAL EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS 66' DEDICATED PRIVATE ROADWAYS (96TH AVENUE, 81ST STREET, 98TH CIRCLE, 82ND PLACE AND RIDGEWAY COURT), SEWER, WATER AND STORM SEWER ACCESS AND MAINTENANCE EASEMENTS AND GAS MAIN EASEMENTS ARE ALSO HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO WE ENERGIES AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS ("WE ENERGIES"), FOR THE PURPOSE OF CONSTRUCTING, INSTALLING, OPERATING, REPAIRING, ALTERING, REPLACING AND MAINTAINING GAS MAIN LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS SHOWN ON THIS CSM (AND ANY LOTS SUBSEQUENTLY DIVIDED WITH THE APPROVAL OF THE VILLAGE) IN ACCORDANCE WITH VILLAGE APPROVED PLANS AND FOR ANY RELATED INGRESS AND EGRESS. ALL SUCH GAS MAIN LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. THESE EASEMENTS SPECIFICALLY INCLUDE THE RIGHT TO TRIM OR REMOVE BRANCHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GRANTED, AND THE RIGHT TO ENTER UPON THE LAND HEREIN DIVIDED FOR SUCH LIMITED PURPOSES.

CONTINUED ON PAGE 9 OF 15



CERTIFIED SURVEY MAP NO.

2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

THE DEDICATED GAS MAIN EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) THE CORRESPONDING UTILITY EASEMENTS DEDICATED HEREUNTO TO THE OTHER UTILITY AND COMMUNICATIONS GRANTEEES; (2) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (3) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNERS OF THE LOTS ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF WE ENERGIES.

DEVELOPER SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO THE INSTALLATION OF SUCH GAS MAIN UTILITIES WITHIN THE EASEMENT AREAS AS DOES NOT INTERFERE WITH THE PURPOSE OF THE GAS MAIN EASEMENTS AND THE USE OF SUCH EASEMENTS BY WE ENERGIES, UNLESS A SEPARATE AGREEMENT IS ENTERED INTO WITH WE ENERGIES TO RESTORE SAID PROPERTY. AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOT(S) SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY WE ENERGIES. NO PRIVATE BUILDINGS OR STRUCTURES SHALL BE PLACED WITHIN THE EASEMENT AREAS WITHOUT THE PRIOR WRITTEN APPROVAL OF WE ENERGIES.

WE ENERGIES SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE EASEMENT AREAS TO THEIR PREEXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT WE ENERGIES DOES NOT RESTORE THE EASEMENT AREAS TO VEGETATIVELY STABILIZED CONDITION, THE DEVELOPER SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST WE ENERGIES. AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOT(S) SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY WE ENERGIES. UNDER NO CIRCUMSTANCES SHALL WE ENERGIES CONDUCT ANY OPEN CUTTING OF ROADWAYS AFTER THE CRUSHED AGGREGATE BASE COURSE IS INSTALLED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH UTILITY FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF WE ENERGIES, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE EASEMENT AREAS. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF WE ENERGIES AND THE RIGHTS OF THE VILLAGE IN SUCH AREAS, THE RIGHTS OF THE VILLAGE SHALL BE DEEMED TO BE SUPERIOR.

NOTWITHSTANDING THE FOREGOING, THE GAS MAIN EASEMENTS GRANTED BY THE DEVELOPER TO WE ENERGIES SHALL BE LIMITED TO ONLY THE INITIAL 10 FEET LOCATED BEHIND THE CURB(S). THIS 10 FOOT EASEMENT SHALL ALSO INCLUDE THE RIGHT TO TRIM OR CUT DOWN TREES, BUSHES, BRANCHES, AND ROOTS AS REASONABLY REQUIRED SO AS TO NOT INTERFERE WITH WE ENERGIES USE OF SUCH 10 FOOT EASEMENT AREAS.

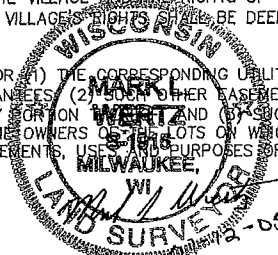
3. PERPETUAL EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS 12' UTILITY EASEMENT AREAS TO WE ENERGIES, SBC AND TIME WARNER CABLE INC. ON THIS CSM ARE HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER, (THE "UTILITY AND COMMUNICATIONS GRANTOR"), TO WE ENERGIES, SBC AND TIME WARNER CABLE INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS (COLLECTIVELY, THE "UTILITY AND COMMUNICATIONS GRANTEEES"), FOR THE PURPOSES OF CONSTRUCTING, INSTALLING, OPERATING, REPAIRING, ALTERING, REPLACING AND MAINTAINING UTILITY AND COMMUNICATION LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS, (OR PORTIONS THEREOF) SHOWN ON THIS CSM AND FOR ANY RELATED INGRESS AND EGRESS. THESE EASEMENTS SHALL ALSO INCLUDE THE RIGHT TO TRIM OR CUT DOWN TREES, BUSHES, BRANCHES, AND ROOTS AS REASONABLY REQUIRED SO AS TO NOT INTERFERE WITH THE UTILITY AND COMMUNICATION GRANTEEES USE OF SUCH EASEMENT AREAS. TO THE EXTENT POSSIBLE, ALL SUCH UTILITY AND COMMUNICATIONS LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. UPON THE INSTALLATION OF THE UTILITY CABLES AND RELATED APPURTENANCES, THE ELEVATION OF EXISTING GROUND SURFACE WITHIN THE EASEMENT AREA SHALL NOT BE ALTERED BY MORE THAN FOUR (4) INCHES OF FINAL GRADE WITHOUT THE WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATION GRANTEEES.

THE UTILITY AND COMMUNICATIONS GRANTOR SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO THE INSTALLATION OF SUCH UTILITIES WITHIN THE COMMUNICATION EASEMENT AREAS ON WHICH SUCH EASEMENTS ARE LOCATED AS DOES NOT INTERFERE WITH THE PURPOSE OF THE UTILITY AND COMMUNICATIONS EASEMENTS AND THE USE OF SUCH EASEMENTS BY THE UTILITY AND COMMUNICATIONS GRANTEEES, UNLESS A SEPARATE AGREEMENT IS ENTERED INTO WITH THE UTILITY AND COMMUNICATION GRANTEEES TO RESTORE SAID PROPERTY. AFTER SUCH INITIAL RESTORATION, THE OWNERS OF THE AFFECTED LOTS SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE UTILITY AND COMMUNICATION GRANTEEES. NO BUILDINGS, FENCES, OR STRUCTURES OF ANY KIND SHALL BE PLACED WITHIN THE UTILITY AND COMMUNICATIONS EASEMENT AREAS WITHOUT PRIOR WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATION GRANTEEES.

THE VILLAGE GENERALLY ALLOWS THE UTILITY AND COMMUNICATION GRANTEEES, INCLUDING BUT NOT LIMITED TO ELECTRIC AND COMMUNICATIONS FACILITIES, TO BE INSTALLED IN PUBLIC STREET RIGHT-OF-WAYS WITH PRIOR WRITTEN APPROVAL FROM THE VILLAGE, SUBJECT TO THE REQUIREMENTS OF APPLICABLE VILLAGE ORDINANCES. FURTHER, EACH INDIVIDUAL PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE PUBLIC STREET AREAS AND PUBLIC HIGHWAY AREAS TO THEIR PREEXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT THE PRIVATE COMPANIES DO NOT RESTORE THE EASEMENT AREAS TO VEGETATIVELY STABILIZED CONDITION, THE DEVELOPER SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST THE RESPECTIVE UTILITY AND COMMUNICATION GRANTEE COMPANY(IES). AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOTS SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE UTILITY AND COMMUNICATION GRANTEEES. UNDER NO CIRCUMSTANCES SHALL ANY PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY CONDUCT ANY OPEN CUTTING OF PUBLIC ROADWAYS AFTER THE CRUSHED AGGREGATE BASE COURSE IS INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH PRIVATE UTILITY OR COMMUNICATIONS FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF THE INDIVIDUAL UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE PUBLIC STREET AREAS. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE AND THE RIGHTS OF THE UTILITY AND COMMUNICATION COMPANY(IES) IN SUCH PUBLIC STREET AREAS, THE VILLAGE'S RIGHTS SHALL BE DEEMED TO BE SUPERIOR.

THE DEDICATED UTILITY EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) THE CORRESPONDING UTILITY EASEMENTS DEDICATED HEREUNTO TO THE OTHER UTILITY AND COMMUNICATIONS GRANTEEES; (2) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (3) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNERS OF THE LOTS ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE UTILITY AND COMMUNICATIONS GRANTEEES.

CONTINUED ON PAGE 10 OF 15.



CERTIFIED SURVEY MAP NO.

2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

4. EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS DEDICATED PUBLIC STREET ON THIS CSM ARE HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE VILLAGE TO THE DEVELOPER FOR PAVEMENT AND CURB AND GUTTER IMPROVEMENTS, SIDEWALKS, SANITARY SEWER, WATER, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, STREET, TREES AND STREET LIGHTS, AND USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES UNTIL SUCH IMPROVEMENTS ARE INSPECTED BY, DEDICATED TO AND ACCEPTED BY THE VILLAGE. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR SUCH COEXTENSIVE EASEMENTS GRANTED HEREIN AND FOR SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER(S) OF THE LOTS SHOWN ON THIS CSM, AS WILL NOT INTERFERE WITH THE USES AND PURPOSES OF THE VILLAGE, AND IS PERMITTED BY APPLICABLE VILLAGE ORDINANCES.

5. A PERPETUAL EASEMENT COEXTENSIVE WITH THE AREAS SHOWN ON THIS CSM AS A 30' DEDICATED PLANTING, LANDSCAPE, ACCESS AND MAINTENANCE EASEMENT IS HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY DEVELOPER TO THE VILLAGE. OWNER(S) OF LOT 1 OR PORTIONS THEREOF, SHALL HAVE THE OBLIGATION (UPON CONSTRUCTION OF BUILDINGS ON THE AFFECTED SITES) OF LANDSCAPING SAID EASEMENT AREAS IN ACCORDANCE WITH THE MASTER LANDSCAPING PLAN, APPROVED BY THE VILLAGE. AS NOTED, AFTER THE TREES, SHRUBS, AND OTHER LANDSCAPING MATERIALS HAVE BEEN PLANTED AND INSTALLED IN SUCH RESTRICTED PLANTING AND LANDSCAPE AREAS, THE OWNER(S) OF SUCH AREAS SUBJECT TO THIS COVENANT SHALL MAINTAIN THE PLANTING AND LANDSCAPING AREA, WHICH MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION, WATERING, MOWING GRASS, WEEDING, REMOVING OF TRASH AND DEBRIS, TRIMMING TREES AND SHRUBS AND REPLACING DEAD OR DYING PLANT MATERIALS IN ACCORDANCE WITH THE APPROVED MASTER LANDSCAPING PLAN AND/OR THE APPROVED LANDSCAPED STANDARDS AS MAY BE APPLICABLE AS AN AESTHETICALLY PLEASING LANDSCAPED SCREENING AREA. NO VEHICULAR ACCESS TO, OVER, OR THROUGH ANY RESTRICTED PLANTING AND LANDSCAPE AREA SHOWN ON THIS CSM SHALL BE PERMITTED, EXCEPT AS IS SPECIFICALLY APPROVED BY THE VILLAGE IN WRITING. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM AND EXCEPT FOR EXISTING EASEMENTS WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF.

6. THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS AND SUCCESSORS-IN-TITLE IN THEIR CAPACITY AS OWNER(S) OF LOTS 1 THROUGH 4 SHALL HAVE THE OBLIGATION OF MAINTAINING A PERPETUAL VISION TRIANGLE EASEMENT AS SHOWN ON THIS CSM, FOR THE PURPOSES OF PRESERVING AND MAINTAINING A CLEAR FIELD OF VISION, FROM THE STANDPOINT OF MOTORISTS, OVER AND ACROSS SUCH AREAS. THE RIGHTS OF THE VILLAGE AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION PURSUANT TO THESE EASEMENTS SHALL TAKE PRECEDENCE OVER RIGHTS OF ANY OTHER PERSONS OR ENTITIES IN THESE VISION TRIANGLE EASEMENT AREAS.

7. A PERPETUAL NONEXCLUSIVE EASEMENT COEXTENSIVE WITH EACH AREA SHOWN ON THIS CSM AS A DEDICATED 50' X 50' MONUMENT SIGN, ACCESS AND MAINTENANCE EASEMENT AND A DEDICATED 40'X40' MONUMENT SIGN, ACCESS AND MAINTENANCE EASEMENT IS HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE OWNER(S) OF LOTS 1, 2, 3 AND 4 FOR PURPOSES OF PLACING, CONSTRUCTING, INSTALLING, REPAIRING, REPLACING AND MAINTAINING ENTRY MONUMENTS AND FOR PLANTING, INSTALLING, REPLACING AND MAINTAINING RELATED LANDSCAPE ELEMENTS, AND FOR RELATED INGRESS AND EGRESS. THIS EASEMENT SHALL BE SUBJECT TO OTHER EASEMENTS DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA, OR A PORTION THEREOF AND TO THE RETAINED RIGHT OF THE DEVELOPER TO PERFORM THE SAME FUNCTIONS.

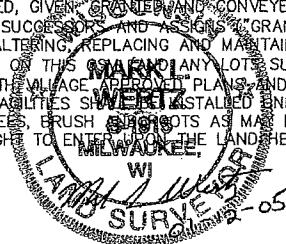
8. A PERPETUAL EASEMENT COEXTENSIVE WITH EACH AREA SHOWN ON LOT 1 OF THIS CSM AS A 20' DEDICATED SANITARY SEWER ACCESS AND MAINTENANCE EASEMENT IS HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWERAGE SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THESE SANITARY SEWER EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF, AND (2) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER(S) OF THE LOTS ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE; AND (3) SUCH FUTURE STREET, DRIVEWAY OR OTHER USES OF THE EASEMENT AREAS THAT MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS AS MAY BE APPROVED BY THE VILLAGE IN WRITING. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE SANITARY SEWER EASEMENTS AND THE RIGHTS OF ANY OTHER PERSONS OR ENTITIES WITH RESPECT TO THE 20' DEDICATED SANITARY SEWER ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.

9. A PERPETUAL EASEMENT COEXTENSIVE WITH SUCH AREA SHOWN ON LOT 1 OF THIS CSM AS A 20' DEDICATED STORM SEWER, ACCESS AND MAINTENANCE EASEMENT IS HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THESE STORM SEWER EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (2) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER(S) OF THE LOTS AND OUTLOTS ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE; AND (3) SUCH FUTURE STREET, DRIVEWAY OR OTHER USES OF THE EASEMENT AREAS THAT MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS AS MAY BE APPROVED BY THE VILLAGE IN WRITING. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE EASEMENTS AND THE RIGHTS OF OTHER PERSONS OR ENTITIES WITH RESPECT TO THE 20' DEDICATED STORM SEWER, ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THIS EASEMENT SHALL BE DEEMED TO BE SUPERIOR.

10. A PERPETUAL EASEMENT COEXTENSIVE WITH EACH AREA SHOWN ON THIS CSM AS A 13' DEDICATED GAS MAIN AND UTILITY ACCESS AND MAINTENANCE EASEMENT IS HEREBY DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER ("GRANTOR") TO WE ENERGIES AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS ("GRANTEE"), FOR THE PURPOSE OF CONSTRUCTING, INSTALLING, OPERATING, REPAIRING, ALTERING, REPLACING AND MAINTAINING GAS MAIN LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS SHOWN ON THIS CSM AND ANY LOTS SUBSEQUENTLY DIVIDED WITH THE APPROVAL OF THE VILLAGE) IN ACCORDANCE WITH VILLAGE APPROVED PLANS AND FOR ANY RELATED INGRESS AND EGRESS. ALL SUCH GAS MAIN LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. THESE EASEMENTS SPECIFICALLY INCLUDE THE RIGHT TO TRIM OR CUT TREES, BRUSH AND SHOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GRANTED, AND THE RIGHT TO ENTER UPON THE LAND HEREIN DIVIDED FOR SUCH LIMITED PURPOSES.

CONTINUED ON PAGE 11 OF 15.

THIS INSTRUMENT DRAFTED BY MARK L. WERTZ



PAGE 10 OF 15

CERTIFIED SURVEY MAP NO. 2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

THE GRANTOR SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO THE INSTALLATION OF SUCH GAS MAIN UTILITIES WITHIN THE EASEMENT AREAS AS DOES NOT INTERFERE WITH THE PURPOSE OF THE GAS MAIN EASEMENTS AND THE USE OF SUCH EASEMENTS BY THE GRANTEE, UNLESS A SEPARATE AGREEMENT IS ENTERED INTO WITH THE GRANTEE TO RESTORE SAID PROPERTY. AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOT(S) SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE GRANTEE. NO PRIVATE BUILDINGS OR STRUCTURES SHALL BE PLACED WITHIN THE EASEMENT AREAS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE GRANTEE.

THE VILLAGE GENERALLY ALLOWS THE GRANTEE TO INSTALL SUCH GAS MAIN UTILITIES WITHIN THE PUBLIC STREET RIGHT-OF-WAYS WITH PRIOR WRITTEN APPROVAL FROM THE VILLAGE, SUBJECT TO THE REQUIREMENTS OF APPLICABLE VILLAGE ORDINANCES. FURTHER, THE GRANTEE SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE PUBLIC STREET AREAS TO THEIR PREEXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT THE GRANTEE DOES NOT RESTORE THE EASEMENT AREAS TO VEGETATIVELY STABILIZED CONDITION, THE GRANTOR SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST THE GRANTEE. AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOT(S) SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE GRANTEE. UNDER NO CIRCUMSTANCES SHALL THE GRANTEE CONDUCT ANY OPEN CUTTING OF ROADWAYS AFTER THE CRUSHED AGGREGATE BASE COURSE IS INSTALLED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF THE GRANTEE, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE PUBLIC STREET AREAS. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE GRANTEE PURSUANT TO THE EASEMENTS WITH RESPECT TO THE 13' DEDICATED GAS MAIN AND UTILITY ACCESS AND MAINTENANCE EASEMENT AREAS AND THE RIGHTS OF THE VILLAGE IN SUCH AREAS, THE RIGHTS OF THE VILLAGE SHALL BE DEEMED TO BE SUPERIOR.

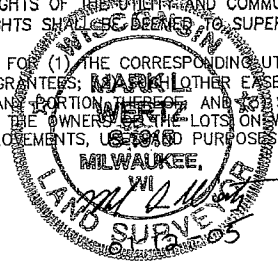
THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (2) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER(S) OF THE LOT(S) ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE GRANTEE.

IN ADDITION, A PERPETUAL EASEMENT COEXTENSIVE WITH EACH AREA SHOWN ON THIS CSM AS A 13' DEDICATED GAS MAIN AND UTILITY ACCESS AND MAINTENANCE EASEMENT IS HEREBY ALSO DEDICATED, GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER, (THE "UTILITY AND COMMUNICATIONS GRANTOR"), TO WE ENERGIES, SBC AND TIME WARNER CABLE INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS (COLLECTIVELY, THE "UTILITY AND COMMUNICATIONS GRANTEES"), FOR THE PURPOSES OF CONSTRUCTING, INSTALLING, OPERATING, REPAIRING, ALTERING, REPLACING AND MAINTAINING UTILITY AND COMMUNICATION LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS, (OR PORTIONS THEREOF) SHOWN ON THIS CSM AND FOR ANY RELATED INGRESS AND EGRESS. THESE EASEMENTS SHALL ALSO INCLUDE THE RIGHT TO TRIM OR CUT DOWN TREES, BUSHES, BRANCHES, AND ROOTS AS REASONABLY REQUIRED SO AS TO NOT INTERFERE WITH THE UTILITY AND COMMUNICATION GRANTEES USE OF SUCH EASEMENT AREAS. TO THE EXTENT POSSIBLE, ALL SUCH UTILITY AND COMMUNICATIONS LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. UPON THE INSTALLATION OF THE UTILITY CABLES AND RELATED APPURTENANCES, THE ELEVATION OF EXISTING GROUND SURFACE WITHIN THE EASEMENT AREA SHALL NOT BE ALTERED BY MORE THAN FOUR (4) INCHES OF FINAL GRADE WITHOUT THE WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATION GRANTEES.

THE UTILITY AND COMMUNICATIONS GRANTOR SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO THE INSTALLATION OF SUCH UTILITIES WITHIN THE COMMUNICATION EASEMENT AREAS ON WHICH SUCH EASEMENTS ARE LOCATED AS DOES NOT INTERFERE WITH THE PURPOSE OF THE UTILITY AND COMMUNICATIONS EASEMENTS AND THE USE OF SUCH EASEMENTS BY THE UTILITY AND COMMUNICATIONS GRANTEES, UNLESS A SEPARATE AGREEMENT IS ENTERED INTO WITH THE UTILITY AND COMMUNICATION GRANTEES TO RESTORE SAID PROPERTY. AFTER SUCH INITIAL RESTORATION, THE OWNERS OF THE AFFECTED PARCELS SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE UTILITY AND COMMUNICATION GRANTEES. NO BUILDINGS, FENCES, OR STRUCTURES OF ANY KIND SHALL BE PLACED WITHIN THE UTILITY AND COMMUNICATIONS EASEMENT AREAS WITHOUT PRIOR WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATION GRANTEES.

THE VILLAGE GENERALLY ALLOWS THE UTILITY AND COMMUNICATION GRANTEES, INCLUDING BUT NOT LIMITED TO ELECTRIC AND COMMUNICATIONS FACILITIES, TO BE INSTALLED IN PUBLIC STREET RIGHT-OF-WAYS WITH PRIOR WRITTEN APPROVAL FROM THE VILLAGE, SUBJECT TO THE REQUIREMENTS OF APPLICABLE VILLAGE ORDINANCES. FURTHER, EACH INDIVIDUAL PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE PUBLIC STREET AREAS AND PUBLIC HIGHWAY AREAS TO THEIR PREEXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT THE PRIVATE COMPANIES DO NOT RESTORE THE EASEMENT AREAS TO VEGETATIVELY STABILIZED CONDITION, THE DEVELOPER SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST THE RESPECTIVE UTILITY AND COMMUNICATION GRANTEE COMPANY(IES). AFTER SUCH INITIAL RESTORATION, THE OWNER(S) OF THE AFFECTED LOTS SHALL BE RESPONSIBLE FOR THE RESTORATION IF NOT COMPLETED BY THE UTILITY AND COMMUNICATION GRANTEES. UNDER NO CIRCUMSTANCES SHALL ANY PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY CONDUCT ANY OPEN CUTTING OF ROADWAYS AFTER THE CRUSHED AGGREGATE BASE COURSE IS INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH PRIVATE UTILITY OR COMMUNICATIONS FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF THE INDIVIDUAL UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE PUBLIC STREET AREAS. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE AND THE RIGHTS OF THE UTILITY AND COMMUNICATION COMPANY(IES) IN SUCH PUBLIC STREET AREAS, THE VILLAGE'S RIGHTS SHALL BE DEEMED TO BE SUPERIOR.

THE DEDICATED UTILITY EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) THE CORRESPONDING UTILITY EASEMENTS DEDICATED HEREUNTO THE OTHER UTILITY AND COMMUNICATIONS GRANTEES; (2) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (3) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER(S) OF THE LOTS ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE UTILITY AND COMMUNICATIONS GRANTEES.



CONTINUED ON PAGE 12 OF 15.

THIS INSTRUMENT DRAFTED BY MARK L. WERTZ

PAGE 11 OF 15

CERTIFIED SURVEY MAP NO.

2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

RESTRICTIVE COVENANTS

1. THE DEVELOPER HEREBY COVENANTS THAT THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE IN THEIR CAPACITY AS OWNER(S) OF LOT 1 AS SHOWN ON THIS CSM OR PORTIONS THEREOF SHALL HAVE THE OBLIGATION OF LANDSCAPING AND MAINTAINING THE 30' PLANTING AND LANDSCAPE AREA SHOWN ON THIS CSM IN ACCORDANCE WITH THE MASTER LANDSCAPING PLAN, AND APPROVED BY THE VILLAGE. AS NOTED, AFTER THE TREES, SHRUBS, AND OTHER LANDSCAPING MATERIALS HAVE BEEN PLANTED AND INSTALLED IN SUCH RESTRICTED PLANTING AND LANDSCAPE AREAS, THE OWNER(S) FOR LOT 1 ARE SUBJECT TO THIS COVENANT SHALL MAINTAIN THE PLANTING AND LANDSCAPING AREA, WHICH MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION, WATERING, MOWING GRASS, WEEDING, REMOVING OF TRASH AND DEBRIS, TRIMMING TREES AND SHRUBS AND REPLACING DEAD OR DYING PLANT MATERIALS IN ACCORDANCE WITH THE APPROVED MASTER LANDSCAPING PLAN AND/OR THE APPROVED LANDSCAPED STANDARDS AS MAY BE APPLICABLE AS AN AESTHETICALLY PLEASING LANDSCAPED SCREENING AREA. NO VEHICULAR ACCESS TO, OVER, OR THROUGH ANY PLANTING AND LANDSCAPE AREA SHOWN ON THIS CSM SHALL BE PERMITTED EXCEPT AS IS SPECIFICALLY APPROVED BY THE VILLAGE IN WRITING.

2. THE DEVELOPER HEREBY COVENANTS THAT THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE IN THEIR CAPACITY AS OWNER(S) OF LOTS 1, 2, 3 AND/OR 4 AS SHOWN ON THIS CSM OR PORTIONS THEREOF SHALL HAVE THE OBLIGATION OF THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, PLANTING AND MAINTENANCE OF THE PRIVATE STREET IMPROVEMENTS AND SHALL WARRANT THOSE IMPROVEMENTS INCLUDING, WITHOUT LIMITATION, PAVEMENT, CURBS AND GUTTERS, SIDEWALKS, STREET SIGNS AND LIGHTS, SANITARY SEWER SYSTEM IMPROVEMENTS, WATER SYSTEM IMPROVEMENTS, STORM SEWER AND DRAINAGE SYSTEM IMPROVEMENTS, UTILITY AND COMMUNICATION FACILITIES, STREET TREES AND FOR ALL RELATED INGRESS AND EGRESS REFERRED TO HEREIN, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE DEVELOPMENT AGREEMENT.

NOTWITHSTANDING THE FOREGOING, AFTER THE STREET TREES, SHRUBS AND OTHER LANDSCAPING MATERIALS HAVE BEEN PLANTED, INSTALLED, DEDICATED AND ACCEPTED BY THE VILLAGE, THE OWNER(S) OF LOTS 1, 2, 3 AND/OR 4 SHALL MAINTAIN THE RESPECTIVE PLANTING AND LANDSCAPING AREA WITHIN SUCH LOTS, WHICH MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION, WATERING, MOWING GRASS, WEEDING, REMOVING OF TRASH AND DEBRIS, TRIMMING TREES AND SHRUBS AND REPLACING DEAD OR DYING PLANT MATERIALS.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH MAINTENANCE ACTIVITIES WITH RESPECT TO THE STREET TREES, THE APPLICABLE OWNER(S) OF LOTS 1, 2, 3 AND/OR 4, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNER(S) AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATIONS STATEMENT ON THIS CSM WITH RESPECT TO THE EASEMENT, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THIS EASEMENT.

3. THE DEVELOPER HEREBY COVENANTS THAT THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE SHALL HAVE THE OBLIGATION OF THE REPAIR, REPLACEMENT, SNOW PLOWING, AND MAINTENANCE OF THE PRIVATE ROADWAYS (96TH AVENUE, 81ST STREET, 98TH CIRCLE, 82ND PLACE AND RIDGEWAY COURT) IN A GOOD AND ATTRACTIVE CONDITION AT ALL TIMES AND IN ACCORDANCE WITH THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH THE PRIVATE ROADWAY EASEMENT AGREEMENT WHICH SHALL RUN WITH LOTS 1, 2, 3 AND 4 AND BE BINDING UPON AND INURE TO THE BENEFIT OF DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE. IF AT ANY TIME, THE PRIVATE ROADWAYS (96TH AVENUE, 81ST STREET, 98TH CIRCLE, 82ND PLACE AND RIDGEWAY COURT) ARE NOT MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE VILLAGE, THE VILLAGE SHALL HAVE THE RIGHT, WITHOUT NOTICE OR HEARING, TO PERFORM, OR TO HAVE PERFORMED, ANY MAINTENANCE NECESSARY TO BRING THE PRIVATE ROADWAYS (96TH AVENUE, 81ST STREET, 98TH CIRCLE, 82ND PLACE AND RIDGEWAY COURT) INTO COMPLIANCE WITH THE VILLAGE SPECIFICATIONS, AND TO CHARGE THE COST OF THE SAME AGAINST LOTS 1, 2, 3 AND/OR 4 AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATIONS STATEMENT ON THIS CSM WITH RESPECT TO THE EASEMENT, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THIS EASEMENT.



CERTIFIED SURVEY MAP NO.

2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, MARK L. WERTZ, SURVEYOR, HEREBY CERTIFY THAT I HAVE PREPARED THIS CERTIFIED SURVEY MAP, THE EXTERIOR BOUNDARIES OF WHICH ARE DESCRIBED AS:

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF OUTLOT 9 OF PRAIRIE RIDGE, A RECORDED SUBDIVISION; THENCE SOUTHWESTERLY 377.99 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTH WHOSE RADIUS IS 6050.00 FEET WHOSE CHORD BEARS S 83°44'28.5" W, 377.93 FEET; THENCE S 85°31'52" W, 208.10 FEET TO THE POINT OF BEGINNING; THENCE DUE SOUTH 472.05 FEET; THENCE DUE EAST 633.75 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF 94TH AVENUE. THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTHWESTERLY 212.52 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES WEST WHOSE RADIUS IS 710.00 FEET WHOSE CHORD BEARS S 19°32'24" E, 211.73; THENCE S 28°06'54" W, 105.62; THENCE SOUTHERLY 868.46 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES EAST WHOSE RADIUS IS 877.00 FEET WHOSE CHORD BEARS S 07°34'28" E, 833.41 FEET; THENCE S 35°56'36" E, 143.24 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WILMOT ROAD (C.T.H. "C"); THENCE S 54°03'24" W ALONG SAID RIGHT-OF-WAY LINE 476.67 FEET; THENCE N 31°08'00" W, 439.89 FEET; THENCE N 24°28'07" W, 129.25 FEET; THENCE N 31°08'00" W, 79.55 FEET; THENCE N 44°19'23" W, 185.25 FEET; THENCE N 83°20'34" W, 5.37 FEET; THENCE S 52°04'09" W, 34.56 FEET; THENCE N 86°39'59" W, 136.46 FEET; THENCE N 58°24'54" W, 76.16 FEET; THENCE N 37°54'18" W, 334.52 FEET; THENCE N 54°26'32" W, 119.47 FEET; THENCE N 63°35'04" W, 115.06 FEET; THENCE N 76°04'49" W, 113.09 FEET; THENCE N 88°41'58" W, 209.73 FEET; THENCE N 19°07'35" W, 69.32 FEET; THENCE N 03°05'44" W, 450.02 FEET; THENCE N 29°22'11" E, 55.91 FEET; THENCE N 84°30'57" E, 126.23 FEET; THENCE N 26°36'04" E, 168.72 FEET; THENCE N 03°20'21" W, 140.32 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF PRAIRIE RIDGE BOULEVARD; THENCE NORTHEASTERLY 268.91 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES SOUTH WHOSE RADIUS IS 4450.00 FEET WHOSE CHORD BEARS N 83°47'59.5" E, 268.87 FEET; THENCE N 85°31'52" E, 696.91 FEET TO THE POINT OF BEGINNING.

CONTAINING 46.125 ACRES (INCLUDING PUBLIC ROADWAY)

That I have complied with the provisions of chapter 236.34 and 236.21 (2)(a) of the Wisconsin State Statutes on certified surveys and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

Dated this 2th day of January, 2005.

SURVEYOR

Mark L. Wertz
Mark L. Wertz

S-1915

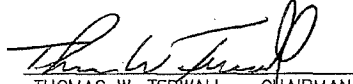


CERTIFIED SURVEY MAP NO. 2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

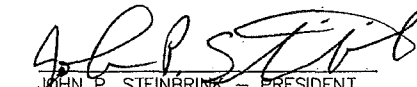
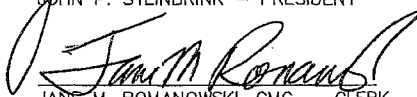
VILLAGE PLAN COMMISSION APPROVAL

Approved by the Village Plan Commission, Village of Pleasant Prairie on this 13th day of DECEMBER, 2005. 2004


THOMAS W. TERWALL - CHAIRMAN

VILLAGE BOARD APPROVAL

Approved by the Village Board of Trustees, Village of Pleasant Prairie on this 17th day of JANUARY, 2005.


JOHN P. STEINBRINK - PRESIDENT

JANE M. ROMANOWSKI, CMC, - CLERK

CORPORATE OWNER'S CERTIFICATE

VK ARBOR LLC, a Wisconsin Limited Liability Company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this map.

IN WITNESS WHEREOF, the said VK ARBOR LLC has caused these presents to be signed by VINCENT KUTTEMPEROOR, Member, and AJAY KUTTEMPEROOR, Member, and its Corporate Seal to be hereunto affixed this 17th day of JANUARY, 2005.

VK ARBOR LLC


VINCENT KUTTEMPEROOR - MEMBER

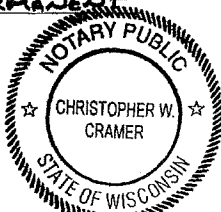

AJAY KUTTEMPEROOR - MEMBER

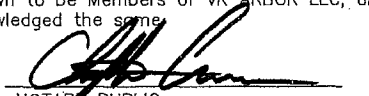
STATE OF WISCONSIN) SS
COUNTY OF KENOSHA)

Personally came before me this 17th day of JANUARY, 2005, the above name VINCENT KUTTEMPEROOR and AJAY KUTTEMPEROOR, to me known to be Members of VK ARBOR LLC, and the persons who executed the foregoing instrument and acknowledged the same



My Commission Expires IS PERMANENT




NOTARY PUBLIC -

CHRISTOPHER CRAMER
PRINT NAME

CERTIFIED SURVEY MAP NO.

2458

BEING A REDIVISION OF OUTLOT 9 OF PRAIRIE RIDGE, ALL PART OF THE SOUTHEAST 1/4, SOUTHWEST 1/4, NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

CONSENT OF CORPORATE MORTGAGEE

M & I MARSHALL & ILSLEY BANK, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to and hereby subordinates its interests, which it has acquired through a Mortgage, Security Agreement and Fixture Financing Statement between VK ARBOR LLC and M & I MARSHALL & ILSLEY BANK, to the surveying, dividing, mapping and dedication of the land described on this map and does hereby consent to the above certificate of VK ARBOR LLC.

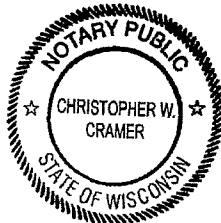
M & I MARSHALL & ILSLEY BANK,
James C. Neuroth
James C. Neuroth
Vice - President

STATE OF WISCONSIN) SS
COUNTY OF KENOSHA)

Personally came before me this 17th day of JANUARY, 2005, the above named JAMES NEUROTH, to me known to be the persons who executed the foregoing instrument and to me known to be such VICE PRESIDENT, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My commission expires IS PERMANENT

Christopher W. Cramer
NOTARY PUBLIC -
CHRISTOPHER W. CRAMER
PRINT NAME





DOCUMENT NUMBER

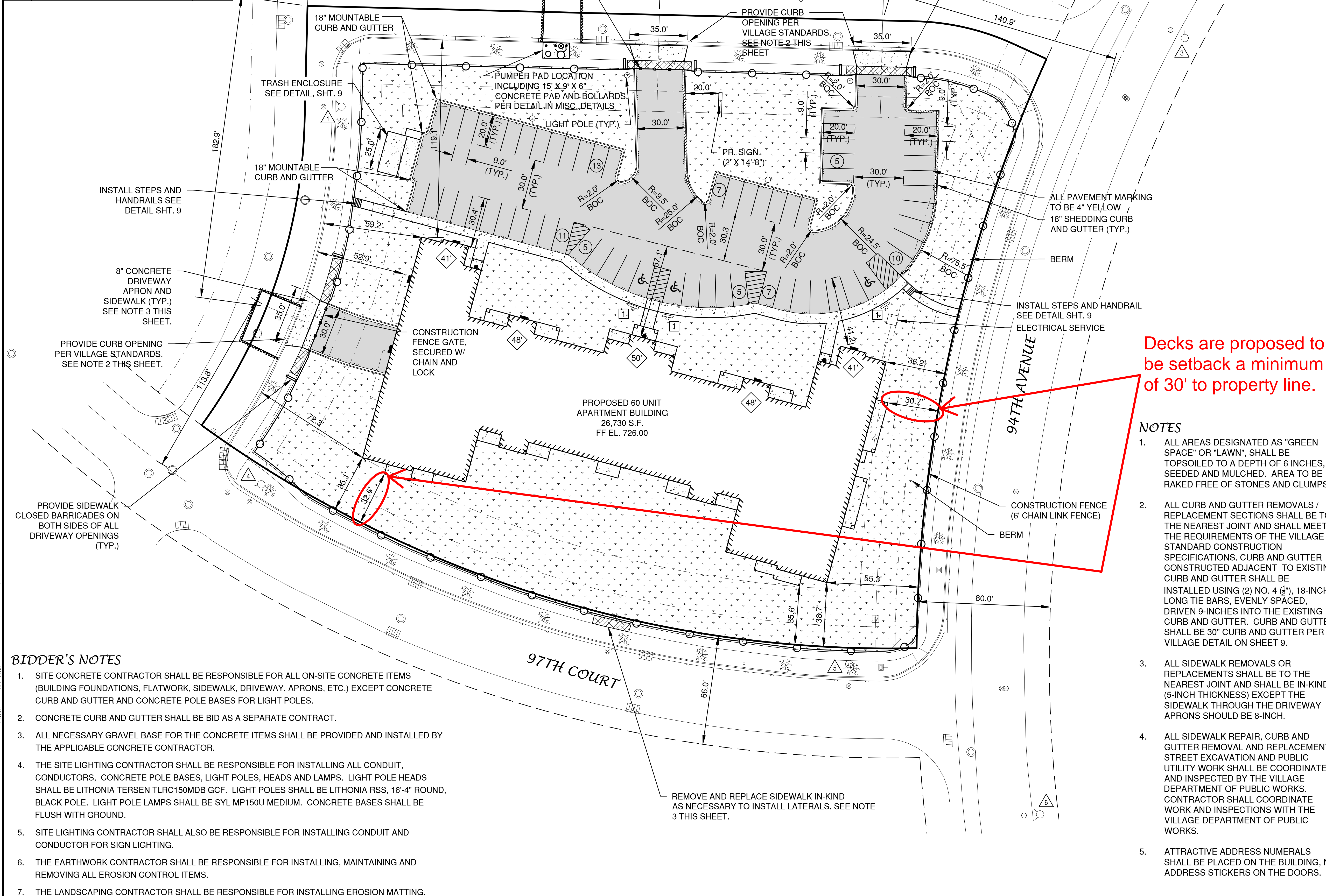
1420259

RECORDED
At Kenosha County, Kenosha, WI 53140
Louise I. Principe, Register of Deeds
on 1/26/2005 at 1:06PM
50003277 941.00

RACS

REGDEED3

| BENCHMARK | | |
|---|--|--------|
| BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. | | |
| FIELD VERIFY BENCHMARKS FOR ACCURACY. | | |
| NO. | DESCRIPTION | EL. |
| 1 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 720.73 |
| 2 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 727.46 |
| 3 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 734.86 |
| 4 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 718.73 |
| 5 | ARROW ON TOP FLANGE OF FIRE HYDRANT | 725.95 |
| 6 | SOUTH BOLT ON TOP FLANGE OF FIRE HYDRANT | 727.64 |



PARKING DATA
 SURFACE PARKING SPACES PROVIDED = 63
 UNDERGROUND PARKING SPACES PROVIDED = 60
 SURFACE HANDICAP ACCESSIBLE PARKING SPACES = 3
 UNDERGROUND HANDICAP ACCESSIBLE PARKING SPACES = 2
 TOTAL PARKING SPACES PROVIDED = 123

(33) 1 - BEDROOM UNITS X 1.5 SPACES = 49.5 SPACES UNIT
 (27) 2 - BEDROOM UNITS X 2 SPACES = 54 SPACES UNIT

60 TOTAL UNITS X 1 SPACE = 7.5 SPACES 3 UNITS
 TOTAL SPACES REQUIRED = 111 SPACES

SITE DATA
 TOTAL AREA = 2.83 ACRES, 123,229 S.F.
 BUILDING AREA = 0.61 ACRES, 26,730 S.F. (21.5%)
 SIDEWALK/PARKING LOT AREA = 0.78 ACRES, 33,946 S.F. (27.6%)
 GREEN SPACE = 1.44 ACRES, 62,553 S.F. (50.9%)

ZONING
 PUD

PARCEL INFO
 SKYLINE TOWERS
 PARCEL NUMBER: 91-4-122-084-0413

ALL OF LOT 3, CERTIFIED SURVEY MAP NUMBER 2458, DOCUMENT 1420259, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, ALL LOCATED IN SECTION 8, T1N, R22E, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

Decks are proposed to be setback a minimum of 30' to property line.

NOTES

- ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
- ALL CURB AND GUTTER REMOVALS / REPLACEMENT SECTIONS SHALL BE TO THE NEAREST JOINT AND SHALL MEET THE REQUIREMENTS OF THE VILLAGE STANDARD CONSTRUCTION SPECIFICATIONS. CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING (2) NO. 4 (1/2"), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER. CURB AND GUTTER SHALL BE 30" CURB AND GUTTER PER VILLAGE DETAIL ON SHEET 9.
- ALL SIDEWALK REMOVALS OR REPLACEMENTS SHALL BE TO THE NEAREST JOINT AND SHALL BE IN-KIND (5-INCH THICKNESS) EXCEPT THE SIDEWALK THROUGH THE DRIVEWAY APRONS SHOULD BE 8-INCH.
- ALL SIDEWALK REPAIR, CURB AND GUTTER REMOVAL AND REPLACEMENT, STREET EXCAVATION AND PUBLIC UTILITY WORK SHALL BE COORDINATED AND INSPECTED BY THE VILLAGE DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL COORDINATE WORK AND INSPECTIONS WITH THE VILLAGE DEPARTMENT OF PUBLIC WORKS.
- ATTRACTIVE ADDRESS NUMERALS SHALL BE PLACED ON THE BUILDING, NO ADDRESS STICKERS ON THE DOORS.

LEGEND

| | |
|--|--|
| | CONCRETE PAVEMENT |
| | ASPHALT PAVEMENT |
| | LANDSCAPE AREA |
| | GREEN SPACE |
| | PROPOSED 18" STANDARD CURB & GUTTER (UNLESS OTHERWISE NOTED) |
| | PROPOSED 18" SHEDDING CURB & GUTTER |
| | TRAFFIC FLOW ARROW |
| | HANDICAPPED PARKING |
| | INDICATES NUMBER OF PARKING STALLS |
| | LIGHT POLE |
| | LED WALL PACK |
| | CAN LIGHT |
| | BUILDING HEIGHT AT FRONT OF BUILDING |

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

BIDDER'S NOTES

- SITE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE CONCRETE ITEMS (BUILDING FOUNDATIONS, FLATWORK, SIDEWALK, DRIVEWAY, APRONS, ETC.) EXCEPT CONCRETE CURB AND GUTTER AND CONCRETE POLE BASES FOR LIGHT POLES.
- CONCRETE CURB AND GUTTER SHALL BE BID AS A SEPARATE CONTRACT.
- ALL NECESSARY GRAVEL BASE FOR THE CONCRETE ITEMS SHALL BE PROVIDED AND INSTALLED BY THE APPLICABLE CONCRETE CONTRACTOR.
- THE SITE LIGHTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONDUIT, CONDUCTORS, CONCRETE POLE BASES, LIGHT POLES, HEADS AND LAMPS. LIGHT POLE HEADS SHALL BE LITHONIA TERSEN TLRC150MDB GCF. LIGHT POLES SHALL BE LITHONIA RSS, 16"-4" ROUND, BLACK POLE. LIGHT POLE LAMPS SHALL BE SYL MP150U MEDIUM. CONCRETE BASES SHALL BE FLUSH WITH GROUND.
- SITE LIGHTING CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR INSTALLING CONDUIT AND CONDUCTOR FOR SIGN LIGHTING.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION CONTROL ITEMS.
- THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION MATTING.

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|------------|---------|-------------------------------|-----|------------|---------|------------------|----------|
| 1 | 04/04/2016 | AJB | BID SET | 4 | 06/06/2016 | AJB | CONSTRUCTION SET | CHECKED |
| 2 | 05/23/2016 | AJB | SITE PLAN COMMENT REVISIONS | | | | | JGS |
| 3 | 06/02/2016 | AJB | ADDITIONAL SITE PLAN COMMENTS | | | | | DESIGNED |
| | | | | | | | | AJB |

SKYLINE TOWERS
 A DEVELOPMENT BY LEXINGTON HOMES
 VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WISCONSIN

SITE PLAN

| | |
|---------|----------|
| DATE | 03/20/16 |
| FILE | 4329079D |
| JOB NO. | 4329079 |

Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
 920-662-9641 www.releinc.com
 Celebrating 60 Years of Excellence